

Thursday, 18 July 2024

Te Hui o Te Kaunihera ā-Rohe o Heretaunga
Hastings District Council
Hearings Committee Meeting

Kaupapataka

Attachments - Volume 2

(Oderings Nurseries CHCH Limited - 55 and 57 Brookvale Road, H Nth)

Te Rā Hui:
Meeting date: **Thursday, 18 July 2024**

Te Wā:
Time: **9.30am**

Te Wāhi:
Venue: **Council Chamber
Ground Floor
Civic Administration Building
Lyndon Road East
Hastings**

ITEM	SUBJECT	PAGE
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2.	ORDERINGS NURSERIES CHCH LIMITED - RESOURCE CONSENT APPLICATION FOR RESIDENTIAL DEVELOPMENT OF 55 AND 57 BROOKVALE ROAD, HAVELOCK NORTH (RMA20230145)	
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Urban Design Statement

Oderings Havelock North Comprehensive Residential Development

55 and 57 Brookvale Road, Havelock North

The following Urban Design Statement in support of an application for resource consent is based on the following documentation:

- Urban Design Masterplan prepared by Saddleback Planning.
- Architectural plans prepared by Saddleback Planning.
- Landscape concept plans prepared by Oderings Nurseries.
- Engineering plans prepared by Envelope Engineering.

We can confirm that Saddleback has led the design of the proposed development with due regard given to achieving positive urban design outcomes and minimizing any effects on the external environment.

This statement addresses how the proposed development aligns with the design guidance contained in the *Hastings Residential Intensification Design Guide 2020*. Although the site is zoned Plains Production Zone, as the site is within the Havelock North urban boundary and is surrounded by residential development, the performance standards for the Havelock North General Residential Zone also provide useful guidance as to the built form that might be anticipated in the area.

Proposal

Site and Context

The site is located in the northern suburbs of Havelock North, and is surrounded to the south and east by existing residential development and to the north and west by Guthrie Park (occupied by sports fields and a BMZ track).

Surrounding residential development is characterized by single storey detached dwellings on landscaped lots with evidence of infill development and newer dwellings up to two storeys.

In terms of natural features, the Karituwhenua Stream runs along the eastern and northern boundary of the site before continuing on through Guthrie Park and discharging into the Karamu Stream.

The site itself is relatively flat, and at present the site is occupied by a garden centre (on the south-eastern part of the site) and a detached dwelling fronting Brookvale Road. The balance of the site is in hardstand, having previously been occupied by a plant nursery which has been removed from the site. There is some existing planting on the perimeter of the site.



Figure 1. Site context.

A 400m walkable catchment has been marked up on Figure 1 (Refer Masterplan). Although there are no notable commercial areas within walking distance, there is extensive open space provided by Guthrie Park. Havelock North Intermediate and Havelock North High School are also within walking distance.



Figure 2. Subject Site.



Proposed Development

The applicant proposes a 35-dwelling development on the site accessed via an internal road network, pedestrian pathways, and access lanes.



Figure 3. Proposed development.

Design Statement

Design Guidance

The following design statement addresses the eleven design elements identified within the *Hastings Residential Intensification Design Guide 2020* and how the proposed development achieves a high level of internal amenity while positively contributing to the surrounding context. The design elements identified in the guide are:

- Housing types, sizes and adaptability.
- Building height, visual dominance and sunlight.



- Entrances, detailing and colour.
- Connections to open space.
- Landscape design.
- Private and safe environments.
- Outdoor living space.
- Parking and manoeuvring.
- Waste and service areas.
- Site coverage and low impact design.
- Building materials and environmental sustainability.

Housing Types, Sizes and Adaptability.

In recognition of the diverse needs of the community, the proposed development features a range of housing types and sizes which maintain a consistent character and materials palette. The development includes:

- Five (5) two bedroom, single-storey dwellings with internal single garage;
- Three (3) two bedroom, two-storey terraces with external parking pad and internal store room;
- Twenty-two (22), three bedroom, two-storey detached (zero-lot) dwellings with internal single garage; and
- Five (5) Three bedroom + Multi Room two-storey dwellings with internal single garage.

Together these dwellings provide housing choice for a range of family sizes and lifestyles. The single storey dwellings can provide for a greater level of accessibility within the development.

The architectural design of the development utilises zero-lot housing typologies as the primary siting method. This means that dwellings are sited to one side boundary with the other maintained for clear access to the rear yard. Typically, the zero-lot boundary is to the south of the lot, providing opportunity for a larger side yard and greater sunlight access to the north. Additional benefits of this method are that the housing types can be repeated with each achieving optimal daylight exposure without compromising privacy or overlooking as typically occurs with reflected duplex typologies.

We consider that despite being slightly higher density than the dwellings that characterise the surrounding neighbourhood, the proposed dwellings are appropriate to the area as they still provide a generous gross floor area (between 100m²-200m² approx.) and landscaped outdoor living areas (30m² +) and are not inconsistent with what is envisaged within the underlying zoning of the surrounding area (dwellings up to two-storeys on landscaped sites).



Building Height, Visual Dominance and Sunlight

To maintain the character of the surrounding area and avoid any visual dominance effects, dwellings have been kept within the height limit relevant to the surrounding Havelock North General Residential Zone (8m) and within the scale anticipated in the zone (development up to two-storeys). Single Storey dwellings have been sited in locations around 53 Brookvale Road to minimise adverse shading effects and to help maintain the existing residential character of the street.

Where viewed from public open spaces and the internal street network, the proposed front and rear yard setbacks, and offsets in the façade further avoid any dominant visual effects related to the bulk or scale of the development. This is further supported by the architectural massing of the buildings which create distinct forms to support material and colour variation further reducing the visual impact of any one dwelling.

Sunlight access for the dwellings is optimised through the use of zero-lot typologies and an architectural design that support rooms with multiple external faces (promoting daylight access and cross-ventilation). Outdoor living courts are orientated north-north-west to maximise daytime/evening sunlight when these spaces are most likely to be used.

Entrances, Detailing and Colour.

In terms of the public streetscape, the proposed development maximises the number of dwellings directly facing and accessible off Brookvale Road by orienting dwellings 1 and 35 away from the internal street network, providing direct interface with the existing public road.

The architectural design of all typologies utilise glazing to the front facades (balancing the need for overlooking and passive surveillance with privacy and internal residential amenity). Pedestrian access to the front doors of the dwellings are provided with paths separated from the vehicle manoeuvring areas and are legible in the architectural form.

The front yards are optimised with extensive landscaping and 1.2m fences are proposed to support connection with the public realm. The architectural design of the dwellings also support the use of front yards as a secondary outdoor living space, further contributing to passive surveillance and the vitality of the community.

While a colour scheme is not provided for the development, a cladding design statement included in the masterplan document notes the following:



- Too much colour variation within the development should be avoided as this contributes to a visually cluttered urban environment and detracts from a cohesive identity.
- Dwelling types painted the same colour are not discouraged as variation will develop over time through occupier preference and landscaping.
- Cladding Type A should typically be a darker, more recessive colour to anchor the buildings to their site. This should support reducing the visual dominance of garages.
- Cladding Types B and C can be the same colour as the material difference and building form will provide visual variation. Where these are different colours they should be natural, neutral, or tones of the same base colour.

In addition, we emphasise that variation will develop over time and that the architectural form, streetscape network, and landscape design are more important in establishing a well-functioning urban environment.

Connections to Open Space

The development has an internal pedestrian network which connects directly to public open space in Guthrie Park. The development utilises 1.2m permeable fencing, rear yard landscaping and glazed rear facades to create an active edge with this and other adjacent public open spaces such as to Karituwhenua Stream to the east.

Landscape design

Extensive front and rear yard planting is proposed to create both an attractive landscaped public and private streetscape and a highly landscaped appearance from visual receptors in the adjacent public open spaces. Please refer to the Concept Landscape Plan for further details.

Private and Safe Environments

A balance has been met between maintaining the privacy of outdoor living spaces and creating passive surveillance over both internal movement networks and adjacent public spaces. This has been achieved by providing 1.8m screening fences between adjacent rear yard living spaces while utilising low 1.2m permeable fencing along front yards and adjacent to public open spaces. Where 1.8m fences are utilised to internal public spaces a visually permeable treatment is used at the top of 1.8m fencing to balance the needs for overlook and privacy and minimise any visual dominance effects to the street edge.

Dwellings backing onto public open space also generally feature open plan ground floor living spaces that provide overlook into the backyard and out over public open spaces. Where possible, primary living spaces run the length of dwellings, also providing overlook into, and activation of the front yard. All



dwelling feature some degree of front façade glazing to support overlook of the street and passive surveillance.

Outdoor Living Space

All of the proposed dwellings have adequately sized outdoor living spaces contiguous with open plan indoor living spaces creating 'indoor-outdoor flow'. They also feature both deck and grassed areas, are screened from adjacent outdoor living spaces with 1.8m fencing and where possible back directly on to public open space with a 1.2m visually permeable fence.

While most dwellings achieve the minimum 50m² outdoor living space anticipated by the plan there are eight (8) dwellings that do not. However, these dwellings are typically the smaller two-bedroom typologies and achieve at least 30m² of useable outdoor living space. Therefore, it is considered that all spaces are sufficient to support residential amenity. In addition, the development is immediately adjacent (with two entrance points into) Guthrie Park, further supporting the residential amenity of the development.

Parking and Manoeuvring

The proposed access arrangements are considered practical and safe, and avoid unnecessary vehicle crossings onto Brookvale Road. Development access is gained through a new public roads and internal laneway network for the balance of the development. This design provides a loop road for ease of movement and legibility and is designed to be a low-speed environment.

All the dwellings have at least one vehicle parking space. Where a garage is provided they are set back from the front boundary by at least 5.5m to allow for an additional vehicle parking space (visitor space). A repetitive or visually dominant streetscape character is avoided by recessing garages behind the front façades of the dwellings and through landscape provisions.

Waste and Service Areas

Internal storage is provided across all the dwellings through dedicated storage spaces and/or generously sized single garages. Bins will be screened from the street in front yard enclosures, and rear yards can be accessed externally from the dwelling for further storage if required.



Site Coverage and Low Impact Design

Building coverage will be limited to the maximum allowed in the Havelock North General Residential Zone (<45%) and low impact design solutions have been chosen to address stormwater runoff including rain gardens and an upflow filter.

The design of the development also supports modal shift through lower vehicle parking provisions and integration to Guthrie Park and its path network.

Building Materials and Environmental Sustainability

The proposed dwellings support a wide range of building materials. The architectural form supports up to three cladding types per dwelling. No specific product has been selected at this stage to allow the developers to select the products that support sustainability through environmental impact, product life cycle, product availability, and cost. The design allows for a section of claddings based on:

- Cladding A Brick or plaster base;
- Cladding B (Vertical) timber, fibre cement panel or metal sheeting; and
- Cladding B (Horizontal) timber or fibre cement panel.

The general orientation of the proposed dwellings supports healthy, sustainable homes. Where possible a dual aspect is used along an east/west axis to provide morning and afternoon sun to the inside of dwellings. Where this is not possible, dwellings have open plan primary indoor living spaces oriented directly to the north to maximise solar gain. No primary outdoor living areas have been orientated to the south.

Kind regards

David Clark

Planner

Saddleback Planning Limited

Cameron Rossouw

Urban Designer

Saddleback Planning Limited

Reece Hill PhD (Soil Science)
Landsystems
PO Box 4348
Hamilton East 3247
Hamilton
M: 022 191 3695
E: reece@landsystems.co.nz



Desktop soil and Land Use Capability classification assessment

55 Brookvale Road, Havelock North 4130

(Lot 2 DP 311724, Lot 1 DP 311724, Lot 1 DP 8274)

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Prepared for: c/- Joe Gray - Saddleback
Prepared by: Dr Reece Hill - Landsystems
Report date: 21 April 2023

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1. Introduction

A desktop soil and Land Use Capability (LUC) classification assessment of 55 Brookvale Road, Havelock North 4130 (the “Brookvale Road site”), (**Figure 1**) was undertaken to comply with the National Policy Statement for Highly Productive Land (NPS-HPL).

The Brookvale Road site is extensively developed, and it is very likely that the soils on the site in their current state are modified to an extent that they are no longer considered available for primary productive use and are best considered non-productive land. The purpose of the desktop assessment was to confirm the presence of any highly productive land on the site, or whether the site was considered non-productive land, and as such the NPS-HPL would not apply.



Figure 1. Soil and LUC assessment area for 55 Brookvale Road, Havelock North 4130.

2. Background

Soils

The soils are represented on a map as map units. These map units may contain one or more soils (this varies depending on the complexity of the soil map and the scale of mapping). Generally, there is one dominant soil in a map unit which will determine the LUC classification for that map unit.

Land Use Capability

Land Use Capability (LUC) assesses an area's capacity for sustained productive use, considering physical limitations, soil type, management requirements and soil conservation needs.

A Land Use Capability assessment is a systematic arrangement of the different types of land according to those properties that affect its capacity for long term and sustained production. It is a system that primarily assesses the land for arable (cropping) use.

The assessment is based on a national land classification system used by soil conservators for farm planning since the 1950s. A detailed description of the system is provided in the Land Use Capability Survey Handbook, a 3rd edition of which was published in 2009 (Lynn et al., 2009)¹.

The LUC assessment identifies areas with similar rock type, soil, slope, erosion types and degree and vegetation cover. Where any one of these factors changes significantly a boundary is drawn and a new map unit created. Based on this physical inventory, together with an understanding of climate an assessment is made of each unit's capacity for long term sustained use. Thus, the property is completely covered by mapped units which identify areas having similar physical attributes.

There are eight (8) land use capability classes as recognised in the New Zealand Land Resource Inventory with limitations for use and land use versatility increasing from 1 to 8, with 8 considered unsuitable for productive use and best managed for catchment protection.

Non-productive land and modified soil areas

For an accurate assessment of LUC classification for a property, the assessment should be based on the current condition of the area. This is important because some land management practices (e.g. the placement of tracks, excavation for and placement of buildings, excavation of drains, soil remediation for soil contamination, and general earthworks) cause irreversible changes to the soil (i.e. changes other than those that can be remediated by management practices and return the soil to its intrinsic state). These areas are referred to as modified soil areas. In essence, these are soil areas classified as Anthropogenic Soils², and can no longer be assessed using the LUC classification or considered high class soil.

Non-productive land includes modified soil areas as well as other areas such as streams, wetlands, native vegetation, and retired and planted areas.

¹ Lynn, IH, Manderson, AK, Harmsworth, GR, Eyles, GO, Douglas, GB, Mackay, AD, Newsome, PJF (2009) Land Use Capability Handbook - a New Zealand handbook for the classification of land 3rd Ed. Hamilton, AgResearch; Lincoln, Landcare Research; Lower Hutt, GNS Science 163pp.

² Hewitt AE (2010) New Zealand Soil Classification. 3rd ed. Landcare Research Science Series No. 1. Lincoln, Manaaki Whenua Press.

3. National Policy Statement for Highly Productive Land

The National Policy Statement for Highly Productive Land (NPS-HPL)³ came into force on the 17th October 2022 (clause 1.2(1)).

“Highly productive land” is defined as:

means land that has been mapped in accordance with clause 3.4 and is included in an operative regional policy statement as required by clause 3.5 (but see clause 3.5(7) for what is treated as highly productive land before the maps are included in an operative regional policy statement and clause 3.5(6) for when land is rezoned and therefore ceases to be highly productive land).

My understanding is that NPS-HPL clause 3.5(7) applies because maps produced in accordance with clause 3.4 have not yet been included in an operative regional policy statement as required by clause 3.5. Clause 3.5(7) says:

(7) Until a regional policy statement containing maps of highly productive land in the region is operative, each relevant territorial authority and consent authority must apply this National Policy Statement as if references to highly productive land were references to land that, at the commencement date:

(a) is

(i) zoned general rural or rural production; and

(ii) LUC 1, 2, or 3 land; but

(b) is not:

(i) identified for future urban development; or

(ii) subject to a Council initiated, or an adopted, notified plan change to rezone it from general rural or rural production to urban or rural lifestyle.

The NPS-HPL includes the following definition of LUC 1, 2, or 3 land:

“**LUC 1, 2, or 3 land** means land identified as Land Use Capability Class 1, 2, or 3, as mapped by the New Zealand Land Resource Inventory or by any more detailed mapping that uses the Land Use Capability classification”

My assessment has been carried out using the Land Use Capability classification.

4. Assessment method

Landsystems did not undertake on-site soil observations and LUC mapping of the assessment area. The soil and LUC assessment was undertaken using the following:

- Available NZLRI soil and LUC map information⁴.
- Aerial photographs available on Google Earth.
- Geotechnical drilled bore logs provided by Initia Limited⁵.

The available NZLRI soil and LUC map information was used identify the expected soil on the site. The description(s) were compared with the information provided by the drilled bore logs on the site, to determine whether the original soil was present or whether the soil had

³ National Policy Statement for Highly Productive Land 2022. September 2022.

⁴ <https://lris.scinfo.org.nz/layer/48076-nzlr-land-use-capability-2021/data/110440/>

⁵ Initia Limited. 2021. Brookvale Residential Geotechnical Assessment Report.

been modified, and Anthropic Soil was present. If the original soil was present, the soil's corresponding LUC classification could be applied to determine if the site contained highly productive land as defined by the NPS-HPL. If the soil was not present and the soils were Anthropic Soil⁶, then the site would be considered non-productive land, and the NPS-HPL would not apply.

5. Soil and LUC assessment

LUC and soil classification from available map sources

The available New Zealand Land Resource Inventory (NZLRI) sources of soil and LUC map information⁷ maps the soils and LUC units in the assessment area as moderately well drained Havelock soils on slope class A (0-3°).

A description of the Havelock soil properties is provided in **Appendix 1**. An example soil profile of the Havelock soil is shown in **Figure 2**.

Based on the NZLRI map information, Havelock soil on slope class A is classified as LUC 3s6.

Applying the NPS-HPL, LUC 3s6 is defined as highly productive land.

Based on the NZLRI map information, the entire assessment area is highly productive land as defined by the NPS-HPL.

⁶ Hewitt AE (2010) New Zealand Soil Classification. 3rd ed. Landcare Research Science Series No. 1. Lincoln, Manaaki Whenua Press.

⁷ <https://iris.scinfo.org.nz/layer/48076-nzlri-land-use-capability-2021/data/110440/>

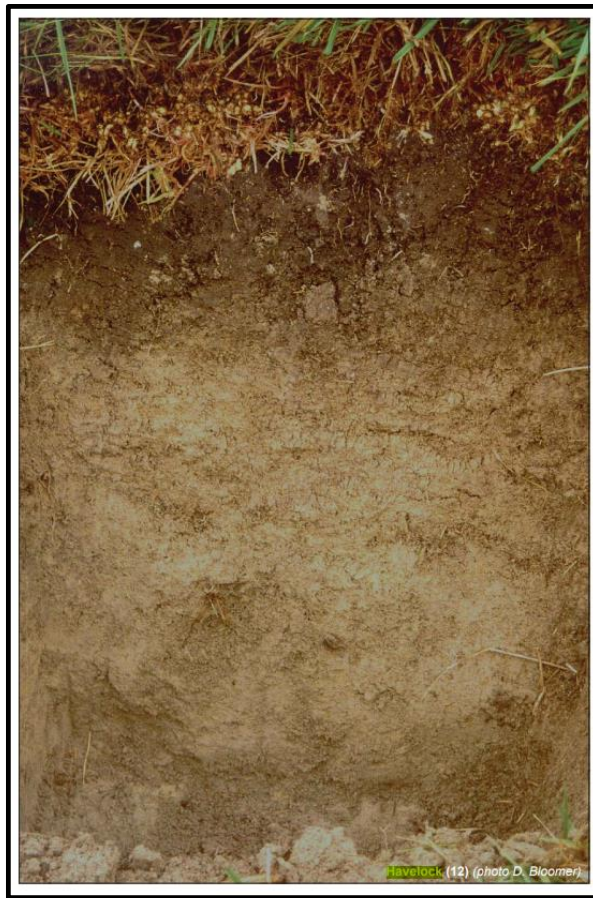


Figure 2. Example soil profile of the Havelock soil (from Griffiths, 1997)⁸.

Aerial photographs

Aerial photography from 2019⁹ indicated that the Brookvale Road site had been extensively modified with nursery buildings, a garden centre, carparks, landscaped areas, recontour areas, and other buildings and dwellings (**Figure 3 (a)**).

Recent aerial photography from 2023¹⁰ indicates that in its current condition many of the buildings on the site have been removed and the site is predominantly cleared, with the exception of some remaining buildings and two dwellings and curtilage (**Figure 3 (b)**).

⁸ Soil map of the Heretaunga Plains [cartographic material] / soil map and legend compiled by E. Griffiths, 1997, from the Soil map of Heretaunga Plains, Hawkes Bay (DSIR 1938) with additional soil surveys by E. Griffiths ... [et al.], 1971-1991, and by E. Griffiths, 1991-1997.

⁹ Google Earth image 20/3/2019.

¹⁰ Google Earth image 4/2023.



Figure 3. Aerial photographs of the Brookvale Road site, (a) 2019, (b) 2023.

Geotechnical borehole log data

Geotechnical bore log data for the Brookvale Road site was provided by Initia Limited. The data consisted of description logs from three drilled boreholes, the locations of which are shown in **Figure 4**.



Figure 4. Drilled borehole locations on the Brookvale Road site.

Log descriptions and photos of the bore log cores for the upper one metre (0-1 m) were used to determine whether the material in the cores resembled similar characteristics (e.g. soil texture and colour) to the Havelock soil profile. Characteristics included the presence of an A horizon (topsoil) overlying a yellowish brown subsoil, with a predominant sandy loam texture throughout.

The upper 2.0 m detailed bore log data and photo the for the three drilled bores (BH1, BH2 and BH3) are provided in **Figures 5-7**.

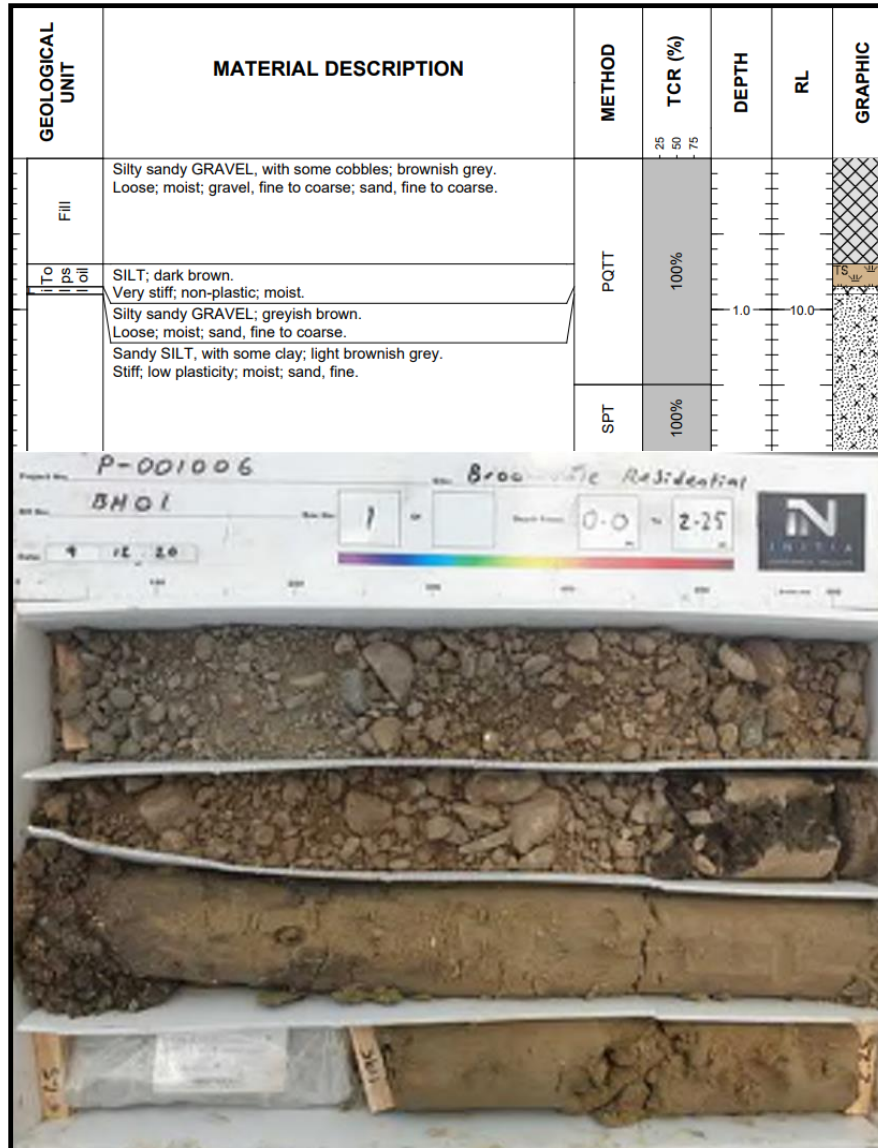


Figure 5. Upper 2.0 m detailed bore log data and photo for the for Bh1.

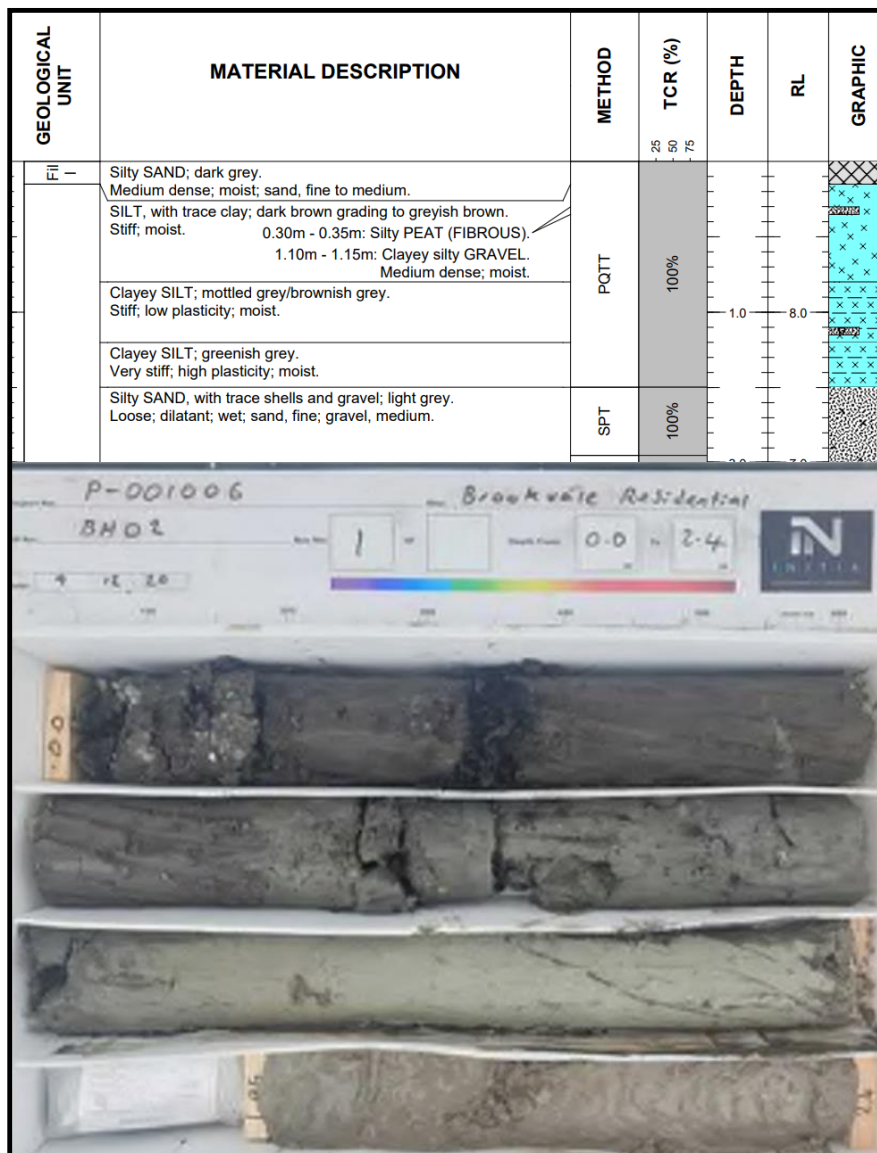


Figure 6. Upper 2.0 m detailed bore log data and photo for the for Bh2.

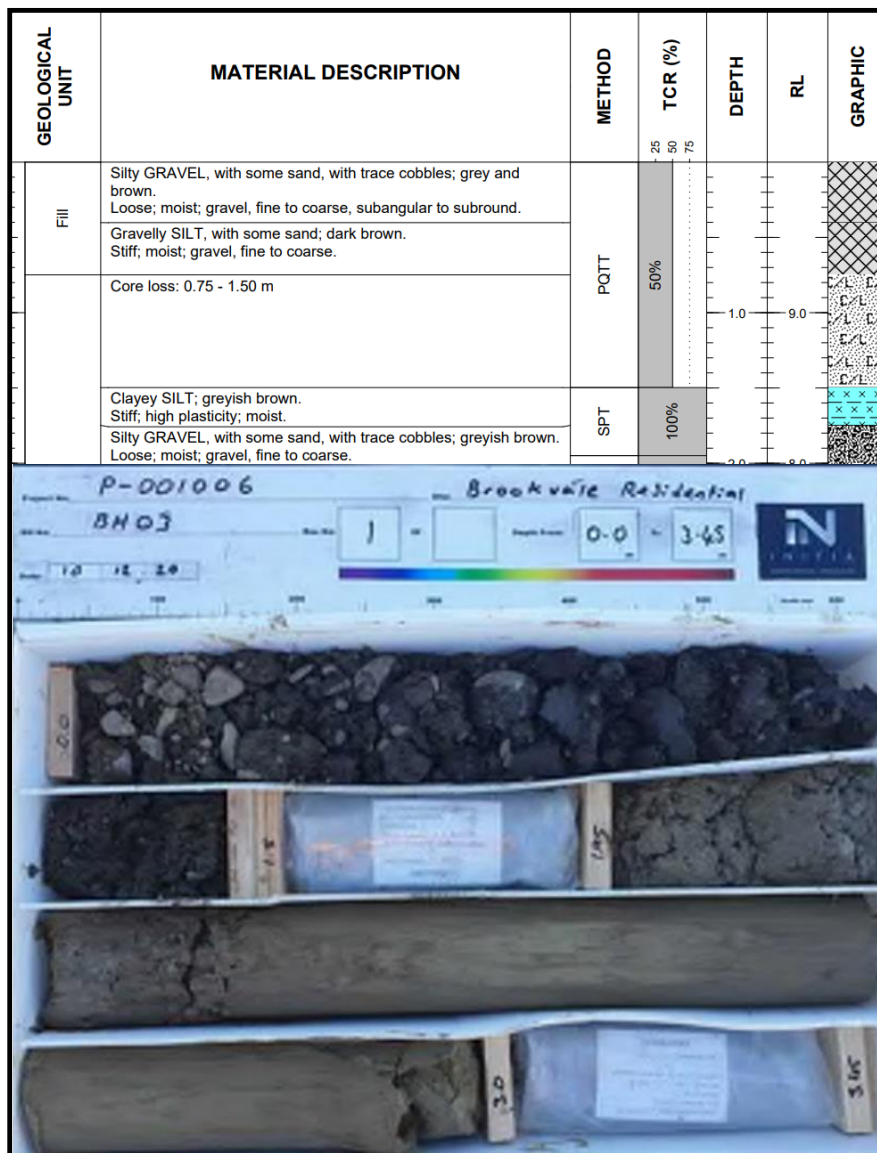


Figure 7. Upper 2.0 m detailed bore log data and photo for the for Bh3.

A summary of my interpretation of the bore log core data, photo observations and estimated LUC and NPS-HPL highly productive land classification is provided in (Table 1).

Table 1. Interpretation of the bore log core data and photo observations and LUC and NPS-HPL highly productive land classification.

Bore log core number	Bore log characteristics (top 1.0 m)	Estimated LUC classification	NPS-HPL highly productive land (HPL)
1	70 cm of gravelly fill over original soil profile, with silty topsoil and greyish brown silty sandy gravel.	Modified soil – classified as non-productive land. Not LUC 3s6.	Not HPL
2	20 cm of dark grey silty sand fill over dark brown to greyish brown silt.	Not LUC 3s6 Underlying poorly drained soil material.	Not HPL
3	75 cm silty gravel fill (core loss underlying).	Modified soil – classified as non-productive land. Not LUC 3s6.	Not HPL

The inferences that can be made from the cores is somewhat limited as they only provide a few points of observation across the site. However, all three cores showed fill overlying soil material. Of the three cores, BH1 possibly had soil material underlying the fill that resembled soil material similar to the Havelock soil. The other two cores did not, and most likely had original soils that were poorly drained.

The presence of fill in the upper 20-75 cm of the cores indicated that the original soil at all three cores had been modified, with placement of fill and possibly some excavation before placement.

6. Revised LUC classification

The bore log core data and photo observations, in combination with the aerial photographs, confirms that the site has undergone modification of the original soil, including excavation of the soil, placement of fill, establishment of buildings and curtilage. The land in its current state cannot be assigned a LUC classification due to the degree of modification and is best considered non-productive land.

In my opinion, the entire site is most appropriately classified as non-productive land.

7. Conclusions

Pre-development the soil on the site were identified by NZLRI regional soil map information as well drained Havelock soils on slope class A (0-3°).

Based on the NZLRI LUC map information, the Havelock soils on the site were classified as LUC 3s6 and would be considered highly productive land as defined by the NPS-HPL.

Based on my interpretation of the geotechnical bore observations it is very unlikely there is any original soil on the site. Considering the extent of development and building across the site as shown by the aerial photography, the site is appropriately classified as non-productive land.

In my opinion, the entire site is not highly productive land as defined by the NPS-HPL, and as such the NPS-HPL does not apply.

8. Appendix 1: Havelock soil properties (from Griffiths, 1997).

12 - Havelock		
Soil Properties		
Parent material	water deposit (alluvium) of hill streams from limestone and greywacke	
Characteristic site and soil features	Narrow terraces on the sides of hill streams from the Havelock and other hills on the southern boundary; soils are alkaline with bits of limestone. The textures varying with the type of limestone - sandy loams from sandy limestone and clay loams from clayey limestone	
Associated soils not shown within map unit at map scale but separated out in more detailed maps. - Sample Location	11, 32	B
Natural drainage and depth to gley and hence to water table after wet periods	12	good - >60cm
	12h	imperfect - 30-60
Potential rooting depth, texture, and limiting layer	12	>45cm sandy loam from sandy limestone
	12h	>45cm clay loam from clayey limestone
Available water capacity	12	50-75mm
	12h	50-75mm
Infiltration rate	12	moderate
	12h	if compacted - slow
Permeability rate	12	moderate
	12h	slow
Susceptibility of topsoil to pugging and compaction	12	moderate
	12h	very high
Unfavourable soil characteristics	12	pieces of limestone in topsoil
	12h	high pH (alkaline)
		heavy topsoil - easily compacted
		slow infiltration
		subsoil of slow permeability
		free lime present - high pH (alkaline)
Soil Management		
Artificial drainage: drain spacing	12	none required
	12h	20-40m
Cultivate when moist to avoid: compaction	12h	
Irrigation:-		
recommended method	12h	sprinkler to prevent waterlogging
application rate	12h	slow <4mm/hr
Dripper spacing for continuous wetted Strip	if 4 l/hr drippers used	
Amount and frequency	12	40cm
	12h	60cm

PROPERTY ECONOMICS



Attachment C

ODERINGS DEVELOPMENT

FAST TRACK ECONOMIC IMPACT

ASSESSMENT OVERVIEW

Client: Oderings

Project No: 52239

Date: September 2022

W: www.propertyeconomics.co.nz E: phil@propertyeconomics.co.nz P: 09 479 9311 PO: Box 315596, Silverdale 0944



SCHEDULE

Code	Date	Information / Comments	Project Leader
52239.3	September 2022	Report	Phil Osborne

DISCLAIMER

This document has been completed, and services rendered at the request of, and for the purposes of Oderings only.

Property Economics has taken every care to ensure the correctness and reliability of all the information, forecasts and opinions contained in this report. All data utilised in this report has been obtained by what Property Economics consider to be credible sources, and Property Economics has no reason to doubt its accuracy.

Property Economics shall not be liable for any adverse consequences of the client's decisions made in reliance of any report by Property Economics. It is the responsibility of all parties acting on information contained in this report to make their own enquiries to verify correctness.

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CONTACT DETAILS

Phil Osborne
Mob: 021 557702
Email: phil@propertyeconomics.co.nz

W: www.propertyeconomics.co.nz

52239.3



1. ODERINGS – HASTINGS

Property Economics have been asked to summarise the economic impacts that will flow from the application by Oderings for resource consent regarding the development and construction of 35 new residential dwellings on the corner of Brookvale Road and Romanes Drive in Havelock North, Hastings.

This economic impact overview relates to application to have the proposal referred to the FastTrack process. The subject site is a former plant nursery on the northern urban fringe of Havelock North.

This economic impact assessment relates to a development comprising a total of 35 residential dwellings.

The economic impact estimates the total additional gross economic injection¹ (added Gross Domestic Product (GDP)) into the Hawkes Bay economy that would be brought about by the Project. The initial specifications and details have been provided by the applicant and represent the development's configuration and costings at this point in time. It is important to note that this is not site-specific (i.e., I have not endeavoured to identify the extent to which particular parts of the Hawkes Bay Region will benefit economically). It also assesses the likely economic impacts upon aggregate Hawkes Bay business activity given the composition of activities proposed.

Although there are undoubtedly economic benefits that are specific to the location, they are primarily driven by proximity to transport corridors, efficiencies, ownership opportunities, site size and the opportunity costs associated with other sites.

¹ For example, the existing garden centre which is remaining and recently consented garden centre café has not been taken into account in this analysis.

[W: www.propertyeconomics.co.nz](http://www.propertyeconomics.co.nz)

52239.3



The economic impacts likely to be experienced as a result of the Project are broken down by the development phase which includes the construction costs (CAPEX²) of the development and the proportion of those costs that are retained within the Region.

The direct economic impacts are derived from the actual spending / expenses incurred through the operation of the anticipated development.

Indirect economic impacts are the increased spending brought about by those firms / households and their employees / occupants, who supply the development, while induced economic benefits are measured in terms of the additional income that will be spent in the area due to increased business activity.

2. EXECUTIVE SUMMARY

Oderings propose to develop 35 residential dwellings across the subject land in Havelock North, Hastings.

The direct impact on the Construction and Construction Services sectors associated with direct employment measure approximately 127 FTE years. Direct economic injection from construction and development phases equate to \$22.4m.

The total economic impact on business activity within Hawkes Bay as a result of the subject Oderings development over a 4-year period is estimated to be just under \$26m (NPV)³. In terms of employment multipliers⁴ this would contribute just over 100⁵ FTEs during the peak development and operation year within Hawkes Bay, with a total number of FTE years estimated at 250 over the 4-year development period.

² CAPEX – Capital Expenditure

³ Net Present Value

⁴ Employment Multipliers relate to the level of indirect and induced employment activity generated through the expenditure on and off site.

⁵ NB These are all jobs created through the direct construction phase including indirect and induced employment through all business sectors (not solely construction jobs) and relate to job years rather than one employee.



3. TOTAL ECONOMIC ACTIVITY

This includes construction costs, which have been valued for the overall development.

The impact of this injection on the initial business cycle has been calculated. This 'construction multiplier' was based on the national input-output tables produced by Statistics New Zealand (based on 106 sectors), which were then assessed at a district level based on Hawkes Bay economic activity, composition and productivities.

This estimates the 'leakage' from the regional economy (within specified sectors), and therefore the overall regional production (within a given business cycle) for each \$1 injected.

This was performed for the general residential / commercial construction sectors. These multipliers are based on 'net' flows by broad sector type and are therefore approximations.

Total output impacts to the Hawkes Bay catchment for the proposed developments include:

- Direct Construction Cost x 'Construction Multiplier' +
- Direct Development Cost x 'Development Multiplier' +
- Direct Increased Commercial Spending x 'Commercial Multiplier' +
- Indirect Business Spend x 'Commercial Multiplier' +
- Induced Retail Spending x 'Retail Multiplier'

Each identified multiplier relates simply to the economic sector from which the activity is generated.

3.1. ASSUMPTIONS

The following assumptions have been applied in this impact analysis in order to assess the level of economic injection into the overall economy at this time. This has some (limited) impact on the distributional effects of the costs and benefits but can be quickly adjusted to accommodate more specific construction and on-going costs and injections.

1. For the purposes of this Economic Impact Assessment, it has been assumed that the construction costs will fall within the definition of the following categories (based on a standard 'special' commercial ratio): 'residential construction', 'non-residential construction', 'non-building construction', 'other construction services'.
2. Associated (and estimated) land costs have been included in the financial repayment assessment for the Project.

52239.3



3. Financial or loan costs on capital primarily fall outside of the local catchment and impact the national economy.
4. The origin of labour has been assessed based on regional labour movements furnished by Statistics NZ based on 2018 data. However, employment data has been updated as per the Statistics NZ Business Frame data⁶ to March 2022.
5. This report deals with the economic impact of proposed development on Hawkes Bay. These are specifically the direct impacts related to the operation and construction of the proposed development.
6. The economic activity generated is based on the development's gross activity and does not consider this redirecting growth opportunities from elsewhere in the catchments. As stated, this assessment is not site specific.
7. For the purposes of this report a 6% discount rate has been applied.
8. Labour movements are based on average retention rates rather than specific company locations.
9. The proportion of materials and labour internalised in direct benefits to Hawkes Bay are based on standardised labour movements as well as employment and production composition within the Region. The amount of each 'flow-on' dollar retained in Hawkes Bay are based on the movement of resources (including labour) between other districts and regions.

Table 1 following outlines the resulting impacts on the Hawkes Bay economy as a result of the development.

⁶ Business Frame Data – provides Statistics NZ measure of employment in an area by ANZSIC sector.

[W: www.propertyeconomics.co.nz](http://www.propertyeconomics.co.nz)

52239.3



3.2. TOTAL HAWKES BAY ECONOMIC ACTIVITY

TABLE 1: TOTAL GROSS HAWKES BAY ECONOMIC INJECTION (FASTTRACK)

(\$m)	##	##	2023	2024	2025	2026	2027	Total
Earthworks and Civil			\$2.2	\$0.9				\$0.9
Civil Consultants			\$0.7	\$0.7				\$0.7
Levies				\$0.1	\$0.6			\$0.7
Total Development Costs			\$2.9	\$1.8	\$0.6	\$0.0		\$2.4
Construction				\$4.0	\$6.0	\$10.0		\$20.0
Land								
Construction and Development Costs			\$2.9	\$5.8	\$6.6	\$10.0		\$22.4
Increased Local Spend						\$0.1	\$0.2	\$0.3
Total Capital and Opex			\$2.9	\$5.8	\$6.6	\$10.1	\$0.2	\$22.6
Total Hawkes Bay Output (48 sector multipliers)								
Total Hawkes Bay Output (NPV)			\$3.8	\$6.9	\$7.3	\$11.3	\$0.2	\$25.7
Development Employment			34	19	8			
Construction Employment				30	44	74		
Other Employment			10	29	16	28		
Total Employment			44	78	68	102	1	250

Source: Property Economics

The preceding table illustrates that the total impact on business activity within Hawkes Bay as a result of the development at Oderings over a 4-year period is **estimated to be just under \$26 million**.

In terms of employment multipliers this would **contribute around 100⁷ jobs during the peak development and operation year** within Hawkes Bay, with a total number of **FTE years at approximately 250 over the development period**.

The following table outlines the potential distribution of costs and timeframes based on a standard consent procedure.

⁷ NB These are all jobs created through the direct construction phase including indirect and induced employment through all business sectors (not solely construction jobs).

52239.3



TABLE 2: TOTAL GROSS HAWKES BAY ECONOMIC INJECTION (STANDARD)

(\$m)	##	##	2025	2026	2027	2028	2029	Total
Earthworks and Civil			\$2.2	\$0.9				\$0.9
Civil Consultants			\$0.7	\$0.7				\$0.7
Levies				\$0.1	\$0.6			\$0.7
Total Development Costs			\$2.9	\$1.8	\$0.6			\$2.4
Construction				\$4.0	\$6.0	\$10.0		\$20.0
Land								
Construction and Development Costs			\$2.9	\$5.8	\$6.6	\$10.0		\$22.4
Increased Local Spend						\$0.1	\$0.2	\$0.3
Total Capital and Opex			\$2.9	\$5.8	\$6.6	\$10.1	\$0.2	\$22.6
Total Hawkes Bay Output (48 sector multpliers)								
Total Hawkes Bay Output (NPV)			\$3.4	\$6.1	\$6.4	\$10.0	\$0.2	\$22.7
Development Employment			30	16	7			
Other Employment				26	39	65		
Construction Employment				27	15	25		
Total Employment			39	69	61	90	0	220

Source: Property Economics

Table 2 illustrates a total contribution to GDP through to 2027 of \$23m with 220 total year jobs created. The reasons for the significant decrease from the FastTrack application include:

- The delayed time for development
- The application of Net Present Value (where \$1 early is worth more than the same \$1 a year later, the discount rate 6%)

52239.3

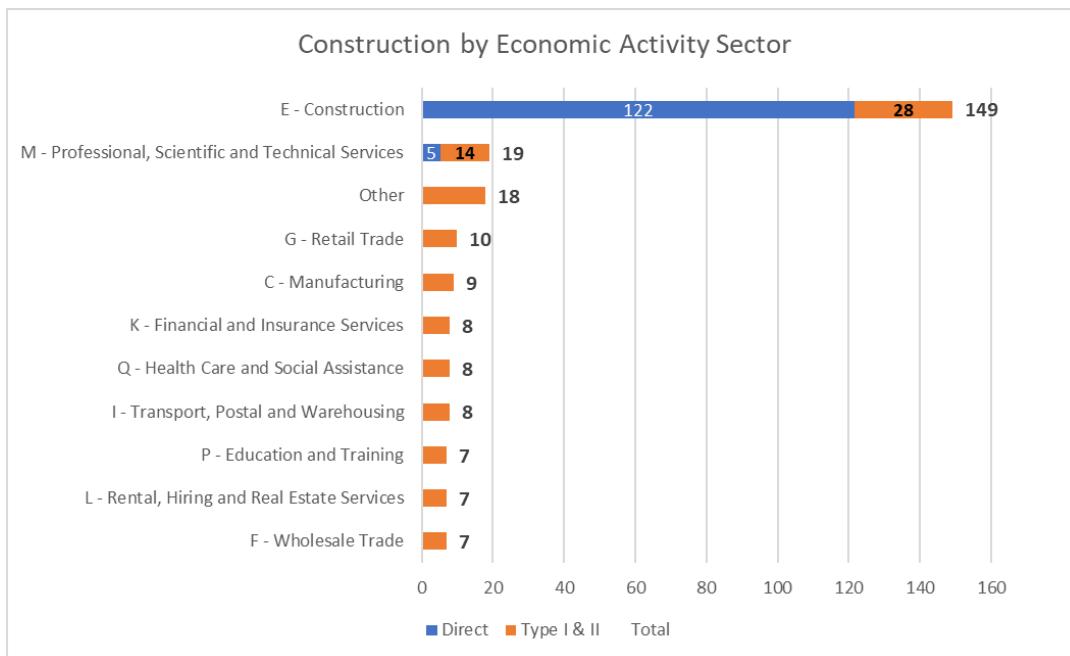


3.3. TOTAL HAWKES BAY DIRECT AND INDIRECT EMPLOYMENT

Figure 1 below disaggregates employment generated by sector and Direct and Indirect (including induced) FTE employment over the identified period. It illustrates the significant direct impact on the Construction sector (as well as Construction Services).

The figure below illustrates the sectors associated with direct employment measure approximately 127 FTE years with the remaining 123 resulting from indirect and induced activity.

FIGURE 1: HAWKES BAY EMPLOYMENT GENERATION BY SECTOR (DIRECT AND INDIRECT)



Source: Property Economics

W: www.propertyeconomics.co.nz

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4. OTHER ECONOMIC COSTS AND BENEFITS

Due to the nature of the Project assessed, there are a range of potential economic costs and benefits that are likely to be achieved within the market beyond the direct economic activity (employment and GDP) generated.

ECONOMIC BENEFITS:

1. **Increased Land / Dwelling Supply:** The proposed land area has the ability to supply the market with up to an additional 35 dwellings. This provides not only the ability for the area to improve its responsiveness to growth demands but will itself facilitate further growth within the area with an increase in overall competitiveness and efficiency due to the intensity of the proposed development. This is in keeping with one of the key purposes of the FastTrack Act⁸ of increasing overall housing supply (s19(d)(iii)).

Additionally, this provides clear direction to the market regarding both its ability to meet future demand pressures and its provision through an efficient site location and size.

2. **More Affordable Housing:** The potential provision of additional feasible residential development capacity (with dwellings at an average of 140sqm) within the wider area is likely to have the impact on reducing counterfactual land values.

A significant contributor to residential property values is the underlying land values impact by growth expectations and supply. The identification of additional residential land areas and residential densities suitable for development is likely to reduce price pressure in the local and surrounding markets.

3. **Decreased Marginal Infrastructure Costs:** Once again the opportunity to masterplan an area has the potential to bring with it, economies of scales and lower marginal infrastructure costs. This is due to the identification of additional residential capacity in the immediate vicinity to this site.
4. **Impact on Current Employment Levels:** While Covid-19 has had a less significant impact on the general economy than was initially estimated, it is clear that the next few years represent uncertain times with several crucial sectors likely to experience significant downturns and considerable restricting. While the sectors that are likely to benefit directly by this proposed development are not necessarily the hardest 'hit' sectors⁹ of the economy, they do contribute substantially to overall community wellbeing and will

⁸ COVID-19 Recovery (Fast-track Consenting) Act 2020

⁹ Albeit this sector is coming under increasing pressure with decreasing sales prices and rapid increases in interest rates.

52239.3



support greater spend and general economic activity that in turn supports greater activity in the affected sectors.

This supports a key FastTrack Act purpose of resulting in a public benefit through generating additional employment (s19(d)(i)). Additional employment opportunities contribute positively to improving income levels of many households in the Hawkes Bay, and therefore improve the economic, social and cultural wellbeing of both current and future generations (s19(b) of the Act).

5. SUMMARY

Overall, the proposed Oderings project represents an opportunity for the regional and, more importantly, the local economy to protect, sustain and grow jobs and income, provide additional job opportunities and income, while also providing additional competitive residential opportunities.

This development also positively contributes to the outcomes sought in the NPS UD¹⁰ by providing additional housing capacity across a range of typologies and providing more choice in the market in relation to price points and location.

It is important to note that these benefits exist within a timeframe that is likely to see significant uncertainty in development opportunities and a lower appetite for risk, impacting on both the construction and productive base of the regional economy.

¹⁰ National Policy Statement on Urban Development 2022, Objective 2 and Policy 1(a)(i)

Oderings HLN Comprehensive Residential Development

For Oderings Nurseries Chch Ltd

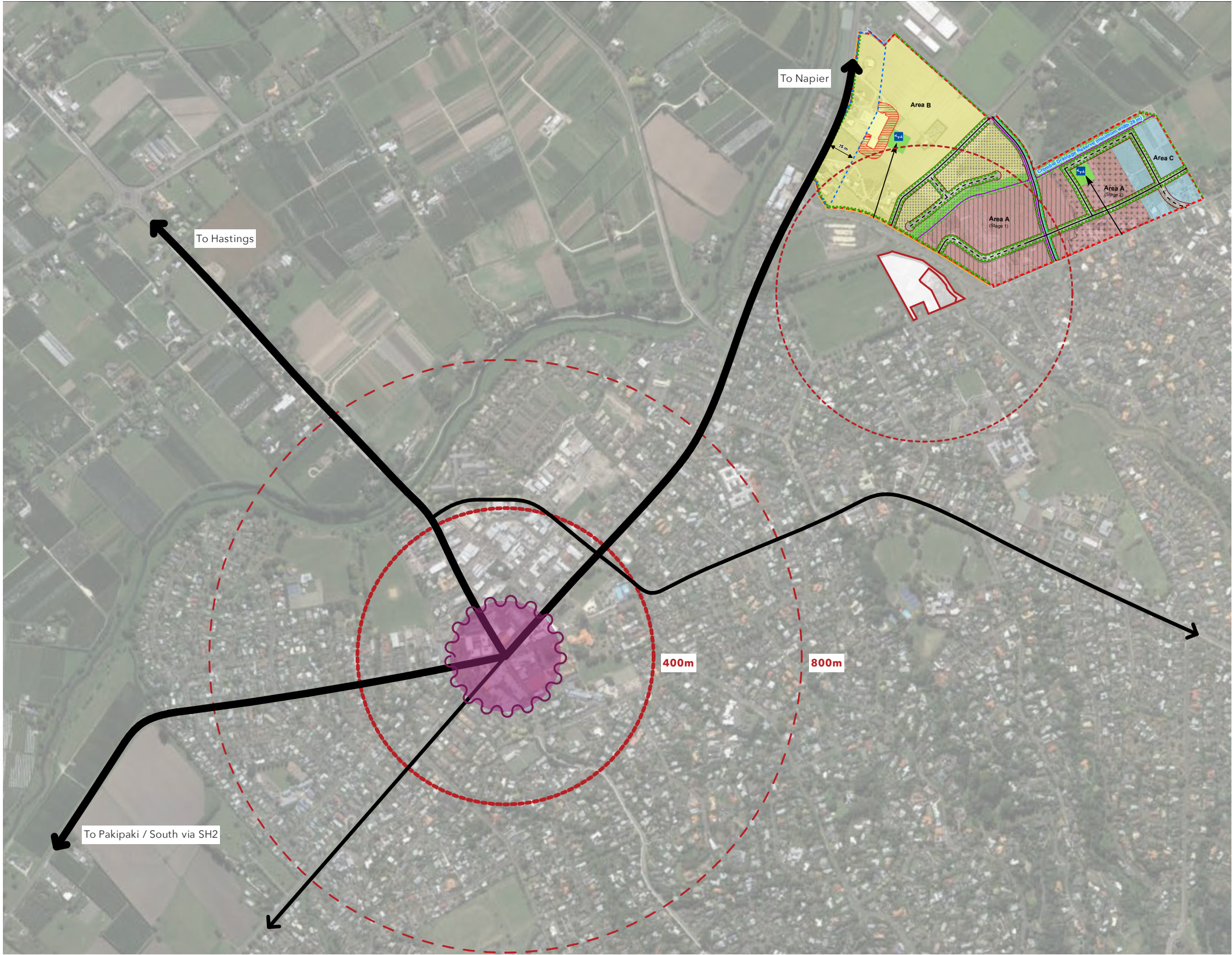


Revision A

Resource Consent Issue

26 May 2023

ALL CONSULTANTS AND CONTRACTORS TO MUST VERIFY ALL DIMENSIONS, ANGLES, LAYOUTS, SITE MEASUREMENTS AND CONDITIONS BEFORE COUNCIL LODGEMENT, MARKETING, FABRICATION OR CONSTRUCTION.
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REV	ISSUE	DATE
A	Resource Consent Issue	17/05/2023

LEGEND

- Subject Site
- Havelock North Town Centre
- Walking Catchment (Indicative)
- Main Roads

TITLE
Havelock North Context

SCALE (A3)
NORTH

PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO
2204-005

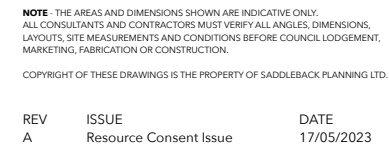
STATUS
Resource Consent Issue




DRAWING NO
100

REVISION
A

DATE
26/05/23

Saddleback



-  **Subject Site**
-  **Guthrie Reserve**
-  **400m Walking Catchment** (Indicative)
-  **Schools / Childcare**
-  **Small Neighbourhood Centre**



NORTH 

DRAWING NO	REVISION	DATE
110	A	26/05/23

Saddleback



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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023


LEGEND

LT-01		~220 m ² +
LT-02	10m Width	~210 m ²
LT-03	09m Width	~190 m ²
LT-04	Terraced	~140 m ²
Yards	1.0m Side / Rear, 1.5m Front	
	5.5m Garage Setback	

Note:
Refer Architectural Plans Set prepared by Saddleback for details on building areas and site coverages.

TITLE


Development Plan




SCALE (A3)

0 5 10 20

1:1000



NORTH



PROJECT

Brookvale Road Development

CLIENT

Oderings Nurseries Chch Ltd

JOB NO

2204-005

STATUS

Resource Consent Issue

DRAWING NO

500

REVISION

A

DATE

26/05/23

Saddleback



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REV	ISSUE	DATE
A	Resource Consent Issue	19/05/2023

LEGEND

- Public Road / Asphalt
- Mountable Roundabout
- Shared Surface
- Demarcated Pedestrian Walkway
- Driveway Crossings
- Footpath

TITLE
Roading Network



SCALE (A3) 0 5 10 20
1:1000 NORTH

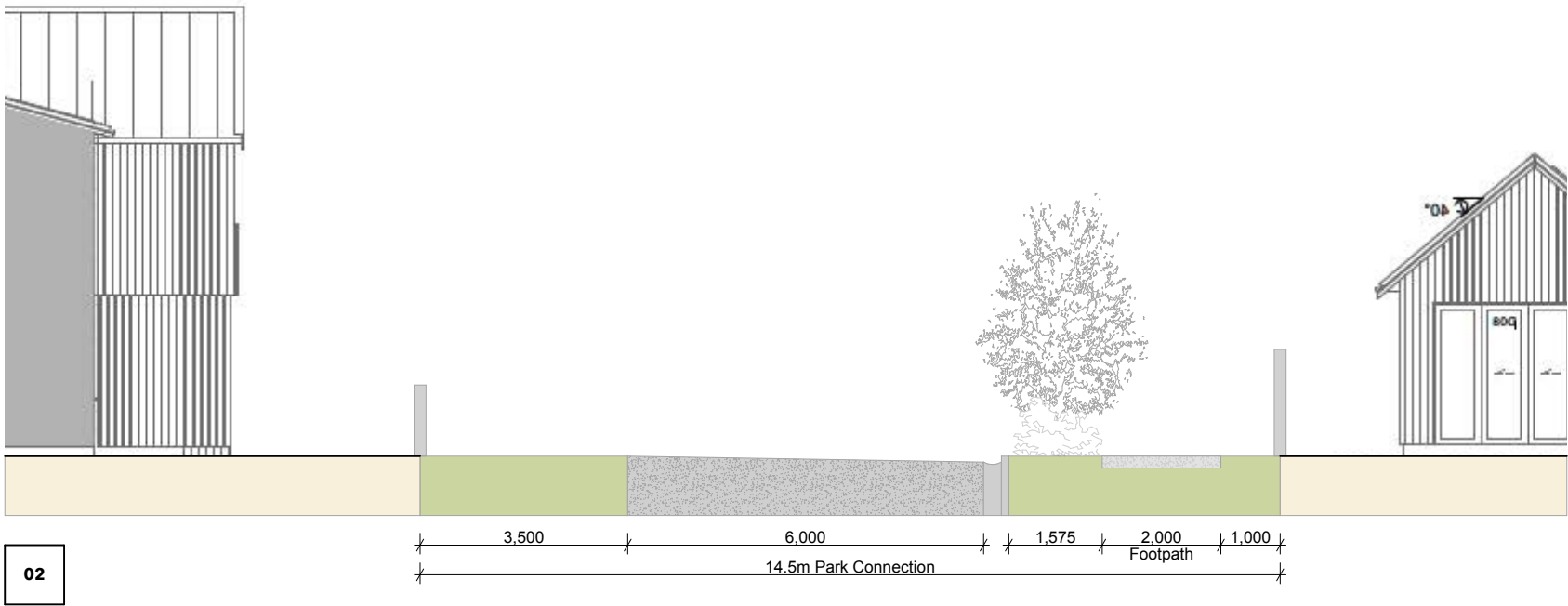
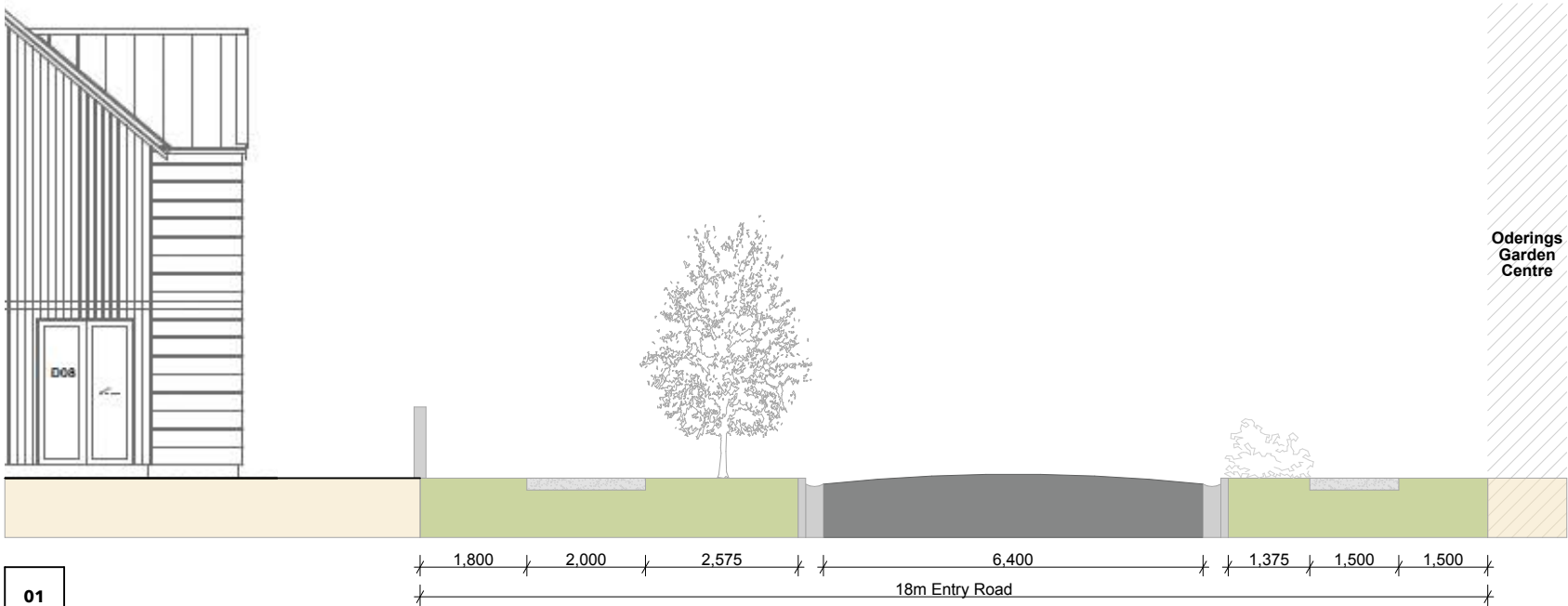
PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO. STATUS
2204-005 Resource Consent Issue

DRAWING NO. REVISION DATE
600 A 26/05/23

Saddleback



CLADDING DESIGN STATEMENT

Cladding A - Solid Mass
Brick or Plaster

Cladding B - Vertical
Timber, Fibre Cement Panels or Metal Sheets

Cladding C - Horizontal
Timber or Fibre Cement Panels

Colour Scheme

Too much colour variation within the development should be avoided as this contribute to a visually cluttered urban environment and detracts from a cohesive identity. Dwellings types painted the same colours are not discourages as variation will develop over time through occupier preference and landscaping.

Cladding A should typically be a darker more recessive colour **(1)** to anchor the buildings to their site. This should support reducing the visual dominance of garages.

Claddings B and C can be the same colour as the material difference and building form will provide visual variation **(2)**. Where these are different colours they should be natural **(3)**, neutral **(4)**, or tones of the same base colour **(5)**.



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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023

TITLE
Street Sections (01 & 02)

SCALE (A3)
1:100

PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO
2204-005

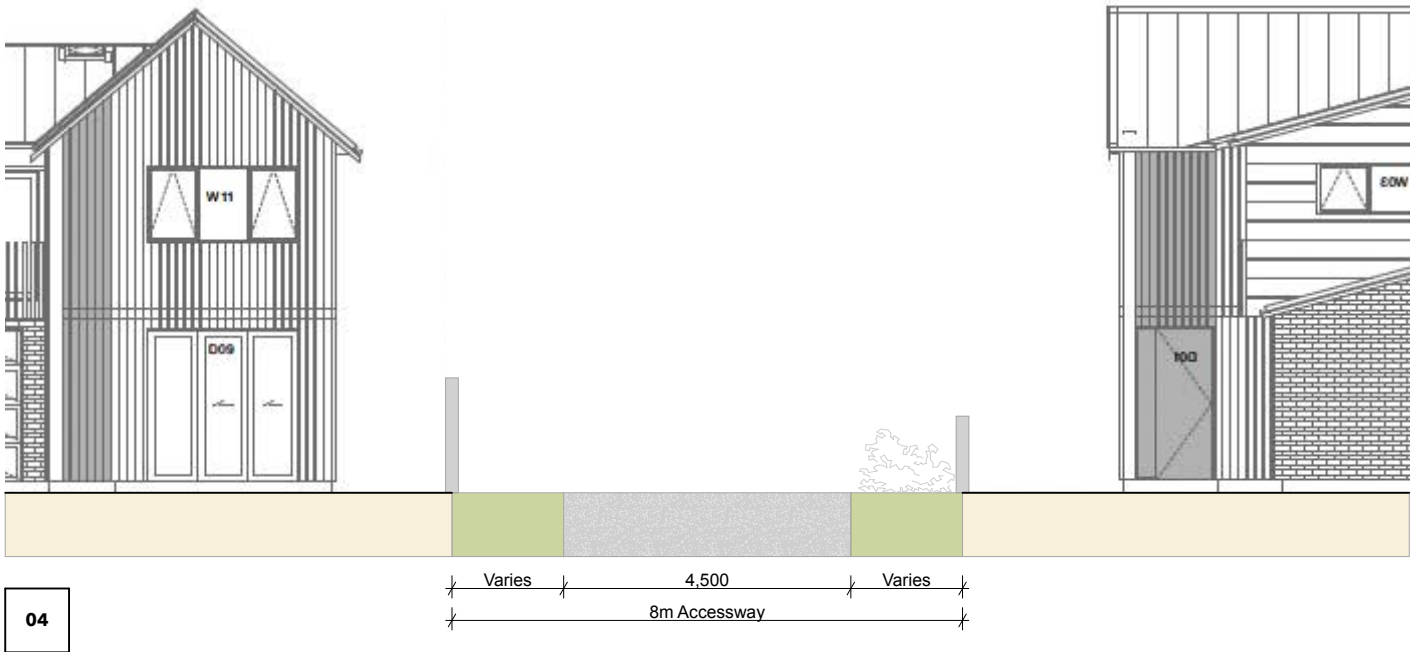
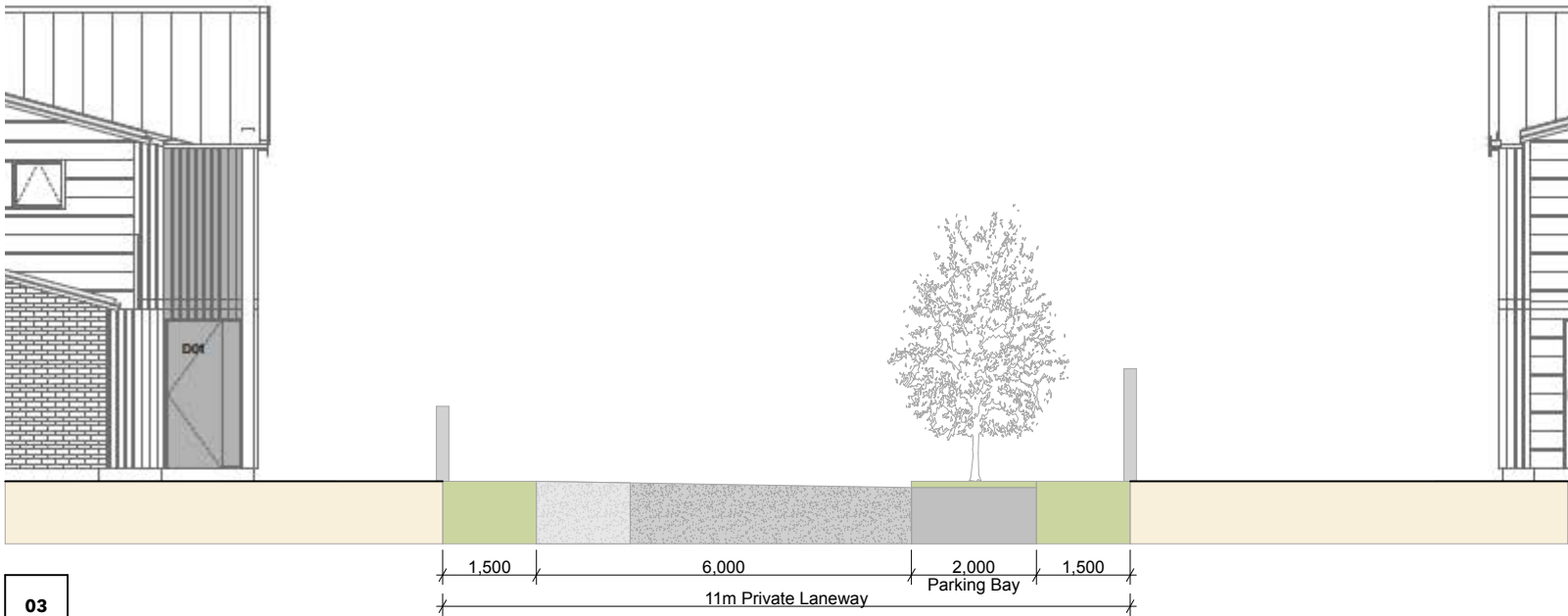
STATUS
Resource Consent Issue

DRAWING NO
601

REVISION
A

DATE
26/05/23

Saddleback



CLADDING DESIGN STATEMENT

Cladding A - Solid Mass
Brick or Plaster

Cladding B - Vertical
Timber, Fibre Cement Panels or Metal Sheets

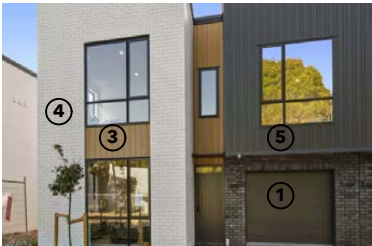
Cladding C - Horizontal
Timber or Fibre Cement Panels

Colour Scheme

Too much colour variation within the development should be avoided as this contribute to a visually cluttered urban environment and detracts from a cohesive identity. Dwellings types painted the same colours are not discourages as variation will develop over time through occupier preference and landscaping.

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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023

TITLE
Street Sections (03 & 04)

SCALE (A3)
1:100

PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO
2204-005

STATUS
Resource Consent Issue

DRAWING NO
602

REVISION
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DATE
26/05/23

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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023

LEGEND

Public Pedestrian Access

Private Pedestrian Access

TITLE
Connectivity Plan

SCALE (A3) 0 5 10 20
1:1000

PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO	STATUS
2204-005	Resource Consent Issue

DRAWING NO	REVISION	DATE
610	A	26/05/23

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Item 2

Attachment D



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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023

LEGEND

- Primary Frontage
- Secondary Frontage
- Neighbouring Boundary

Note:
Refer Landscape Concept Plan prepared by Oderings Landscaping for details on fences and boundary treatments.

TITLE
Frontage Plan



SCALE (A3) 0 5 10 20
1:1000



PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO. 2204-005
STATUS Resource Consent Issue

DRAWING NO. 620
REVISION A
DATE 26/05/23

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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023

LEGEND		
Type A	04 x	
Type A (Reflected)	01 x	
Type B	13 x	
Type B (Reflected)	09 x	
Type C	02 x	
Type C (Reflected)	01 x	
Type D	01 x	
Type D (Reflected)	02 x	
Type D2	02 x	
		35 Total

TITLE
Typology Plan



SCALE (A3) 0 5 10 20
1:1000



PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO. STATUS
2204-005 Resource Consent Issue

DRAWING NO. REVISION DATE
630 A 26/05/23

Saddleback



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REV	ISSUE	DATE
A	Resource Consent Issue	19/05/2023

TITLE
Ground Floor Plan

SCALE (A3) 0 5 10 20
1:1000

PROJECT
Brookvale Road Development

CLIENT
Oderings Nurseries Chch Ltd

JOB NO	STATUS
2204-005	Resource Consent Issue

DRAWING NO	REVISION	DATE
631	A	26/05/23

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REV	ISSUE	DATE
A	Resource Consent Issue	19/05/2023

TITLE


First Floor Plan




SCALE (A3)

0 5 10 20

1:1000



NORTH



PROJECT

Brookvale Road Development

CLIENT

Oderings Nurseries Chch Ltd

JOB NO

2204-005

STATUS

Resource Consent Issue

DRAWING NO

632

REVISION

A

DATE

26/05/23

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REV	ISSUE	DATE
A	Resource Consent Issue	26/05/2023

Note:
This plan is indicative only. Refer Landscape Concept Plan prepared by Oderings Landscaping for further detail.

TITLE


Masterplan




SCALE (A3)

0 5 10 20

1:1000



NORTH



PROJECT

Brookvale Road Development

CLIENT

Oderings Nurseries Chch Ltd

JOB NO

2204-005

STATUS

Resource Consent Issue

DRAWING NO

700

REVISION

A

DATE

26/05/23

Saddleback

Item 2

Attachment D

Oderings HLN Comprehensive Residential Development

For Oderings Nurseries Chch Ltd



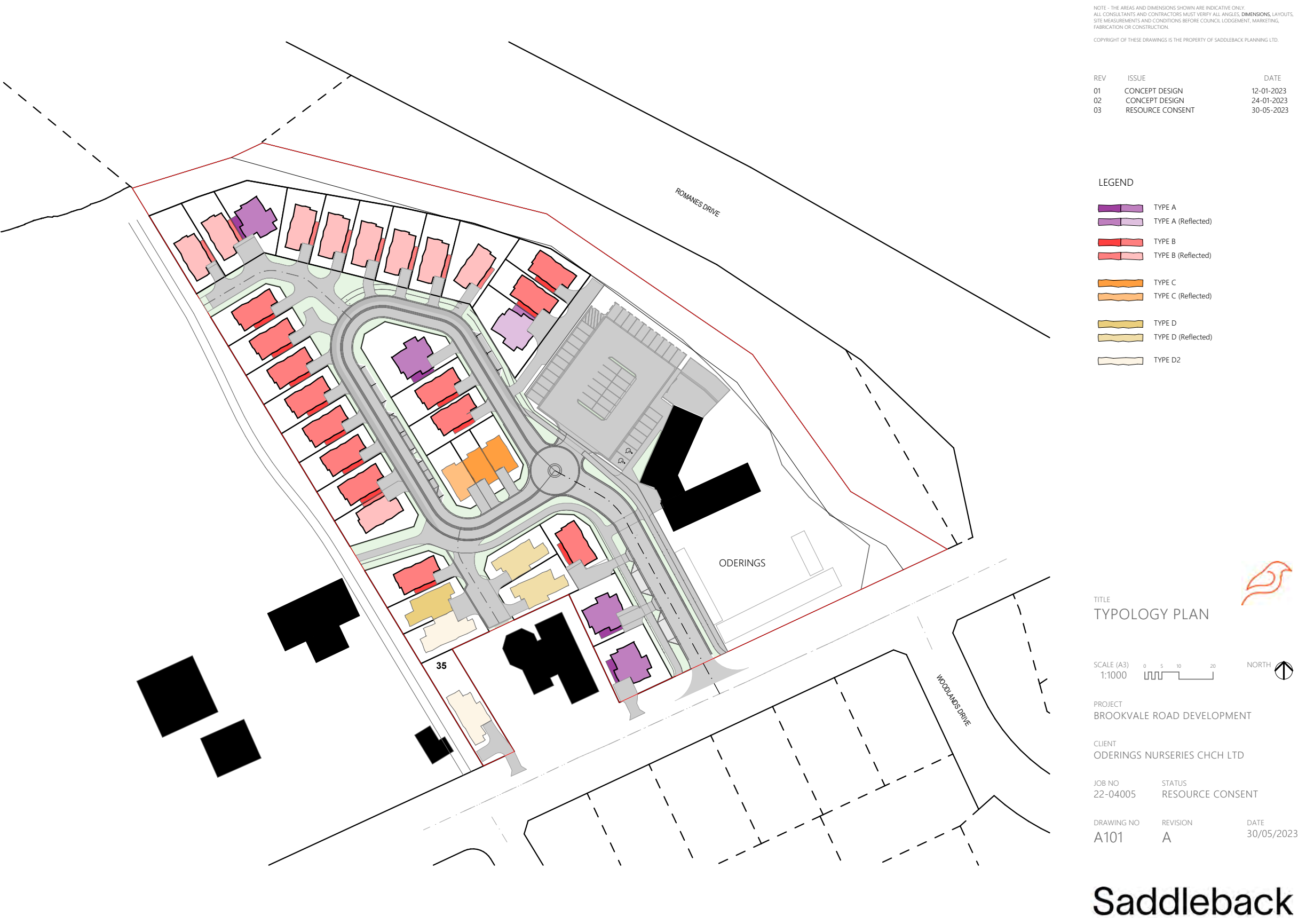
Revision A

Resource Consent Issue

30 May 2023

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Lot Number	Lot Area	Lot Type	Dwelling Type	Building Coverage	Building Coverage (%)	GFA	Bedrooms	Parking Spaces	Outdoor Living Area
01	300.04	LT-01	Type A	102.53	34.2%	182.40	3.5	2	78.23
02	263.60	LT-01	Type A	102.53	38.9%	182.40	3.5	2	75.61
03	260.86	LT-02	Type B	89.64	34.4%	160.98	3	1	45.30
04	230.00	LT-02	Type B	89.64	39.0%	160.98	3	1	74.73
05	230.00	LT-02	Type B	89.64	39.0%	160.98	3.5	1	76.73
06	370.96	LT-01	Type A	102.53	27.6%	182.40	3.5	1	162.26
07	294.52	LT-01	Type A (R)	102.53	34.8%	182.40	3	1	83.30
08	204.54	LT-03	Type B	89.64	43.8%	160.98	3	1	63.36
09	225.48	LT-03	Type B	89.64	39.8%	160.98	3	1	64.24
10	325.40	LT-02	Type B (R)	89.64	27.5%	160.98	3	1	115.25
11	230.14	LT-02	Type B (R)	89.64	39.0%	160.98	3	1	76.05
12	227.09	LT-02	Type B (R)	89.64	39.5%	160.98	3	1	72.98
13	221.13	LT-02	Type B (R)	89.64	40.5%	160.98	3	1	67.04
14	214.03	LT-02	Type B (R)	89.64	41.9%	160.98	3	1	59.94
15	223.83	LT-02	Type B (R)	89.64	40.0%	160.98	3.5	1	61.81
16	304.31	LT-01	Type A	102.53	33.7%	182.40	3	1	103.41
17	240.71	LT-02	Type B (R)	89.64	37.2%	160.98	3	1	76.57
18	259.04	LT-02	Type B (R)	89.64	34.6%	160.98	3	1	105.14
19	215.50	LT-02	Type B	89.64	41.6%	160.98	3	1	66.74
20	220.00	LT-02	Type B	89.64	40.7%	160.98	3	1	66.73
21	220.00	LT-02	Type B	89.64	40.7%	160.98	3	1	66.73
22	220.00	LT-02	Type B	89.64	40.7%	160.98	3	1	66.73
23	220.00	LT-02	Type B	89.64	40.7%	160.98	3	1	66.73
24	220.11	LT-02	Type B	89.64	40.7%	160.98	3	1	66.72
25	220.00	LT-02	Type B	89.64	40.7%	160.98	3	1	66.72
26	249.06	LT-02	Type B (R)	89.64	36.0%	160.98	3	1	65.73
27	159.41	LT-04	Type C (R)	64.17	40.3%	116.61	2	1	48.44
28	132.03	LT-04	Type C	64.17	48.6%	116.61	2	1	39.02
29	159.66	LT-04	Type C	64.17	40.2%	116.61	2	1	39.02
30	205.00	LT-02	Type D (R)	99.91	48.7%	97.73	2	1	32.79
31	234.71	LT-02	Type D (R)	99.91	42.6%	97.73	2	1	32.58
32	243.83	LT-02	Type B	89.64	36.8%	160.98	3	1	89.51
33	199.18	LT-03	Type D	99.91	50.2%	97.73	2	1	41.94
34	221.31	LT-02	Type D2	104.12	47.0%	102.44	2	1	39.92
35	352.06	LT-01	Type D2	104.12	29.6%	102.44	2	1	128.95
35	8,317.54 m²								

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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SITE MEASUREMENTS AND CONDITIONS BEFORE COUNCIL LODGEMENT, MARKETING,
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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

LOT DETAILS



SCALE (A3)

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A102

REVISION

A

DATE

30/05/2023

Saddleback

Item 2

Attachment E

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023
02	CONCEPT DESIGN	24-01-2023
03	RESOURCE CONSENT	30-05-2023



TITLE
BULK & LOCATION PLAN

SCALE (A3)
1:1000

PROJECT
BROOKVALE ROAD DEVELOPMENT

CLIENT
ODERINGS NURSERIES CHCH LTD

JOB NO
22-04005

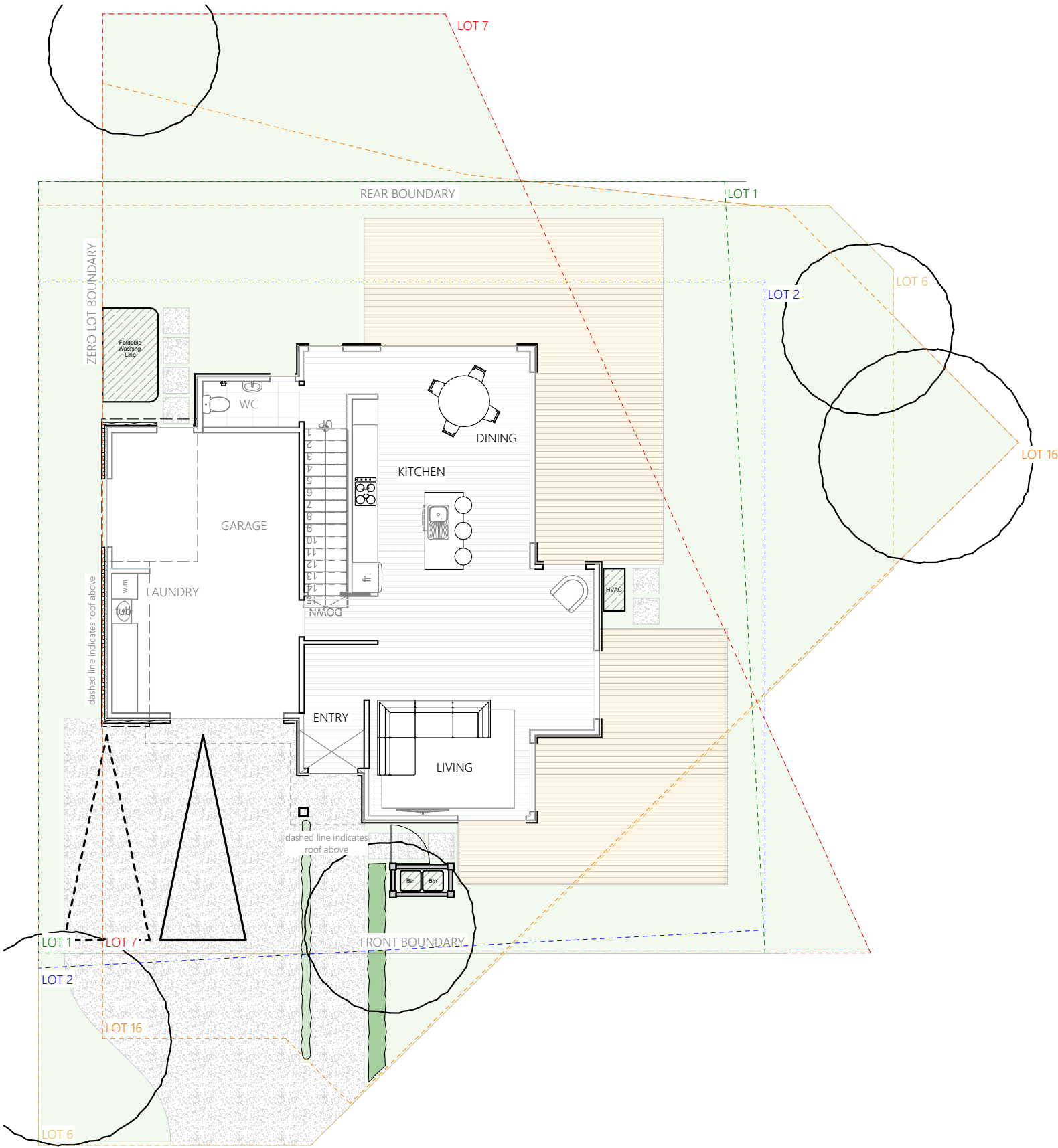
STATUS
RESOURCE CONSENT

DRAWING NO
A103

REVISION
A

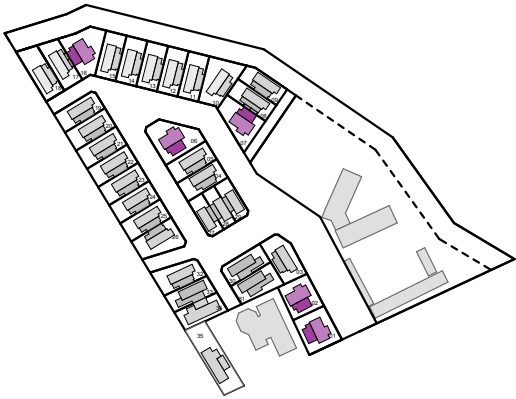
DATE
30/05/2023

Saddleback



NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023
03	RESOURCE CONSENT	30-05-2023



Note:

Refer to Landscape Plans prepared by
Oderings Landscape for site specific
details, including finishes, fencing and
planting.

TITLE

TYPE A - TYPICAL
LANDSCAPE PLAN



SCALE (A3)

1:100



NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A104

REVISION

A

DATE

30/05/2023

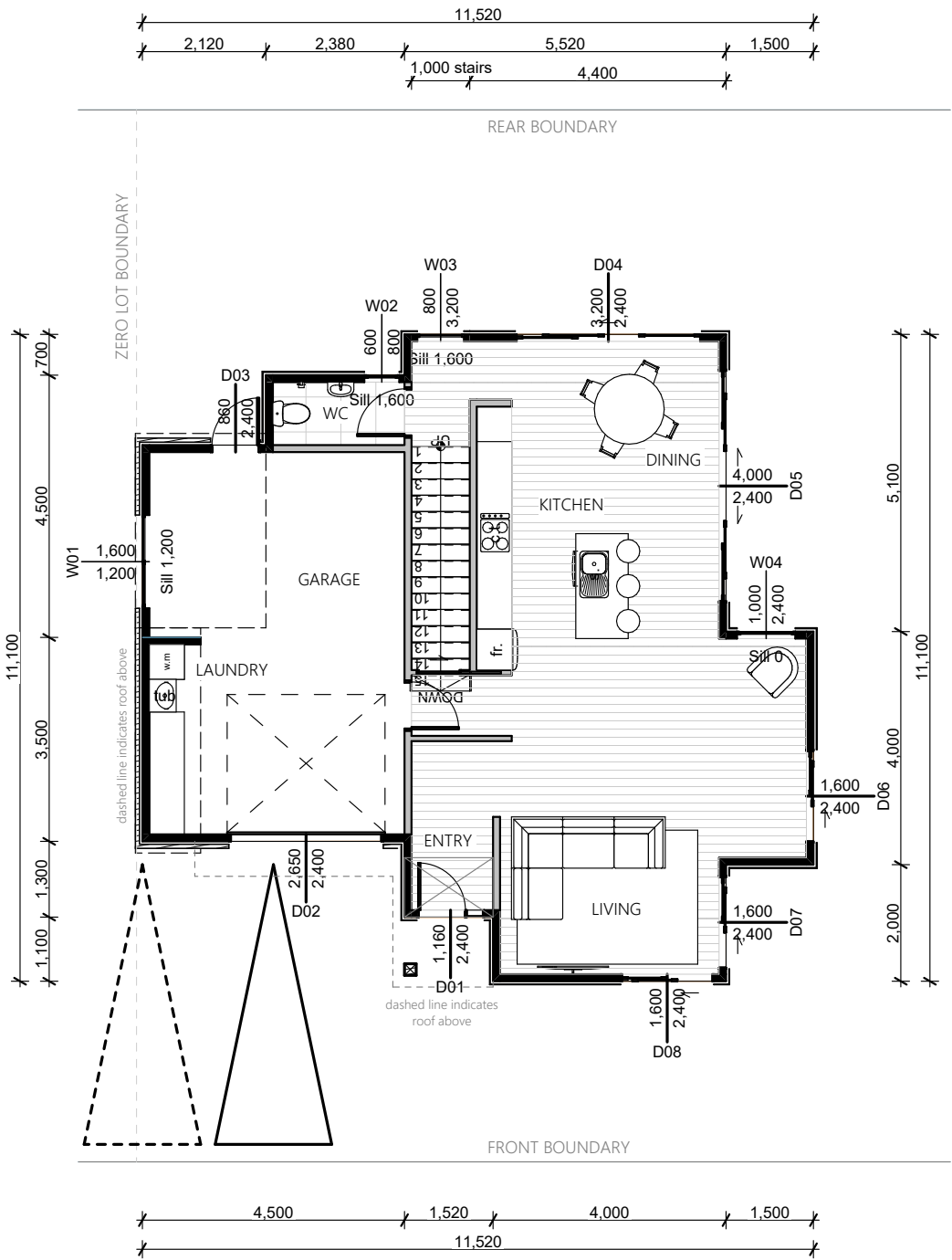
Saddleback

ITEM 2

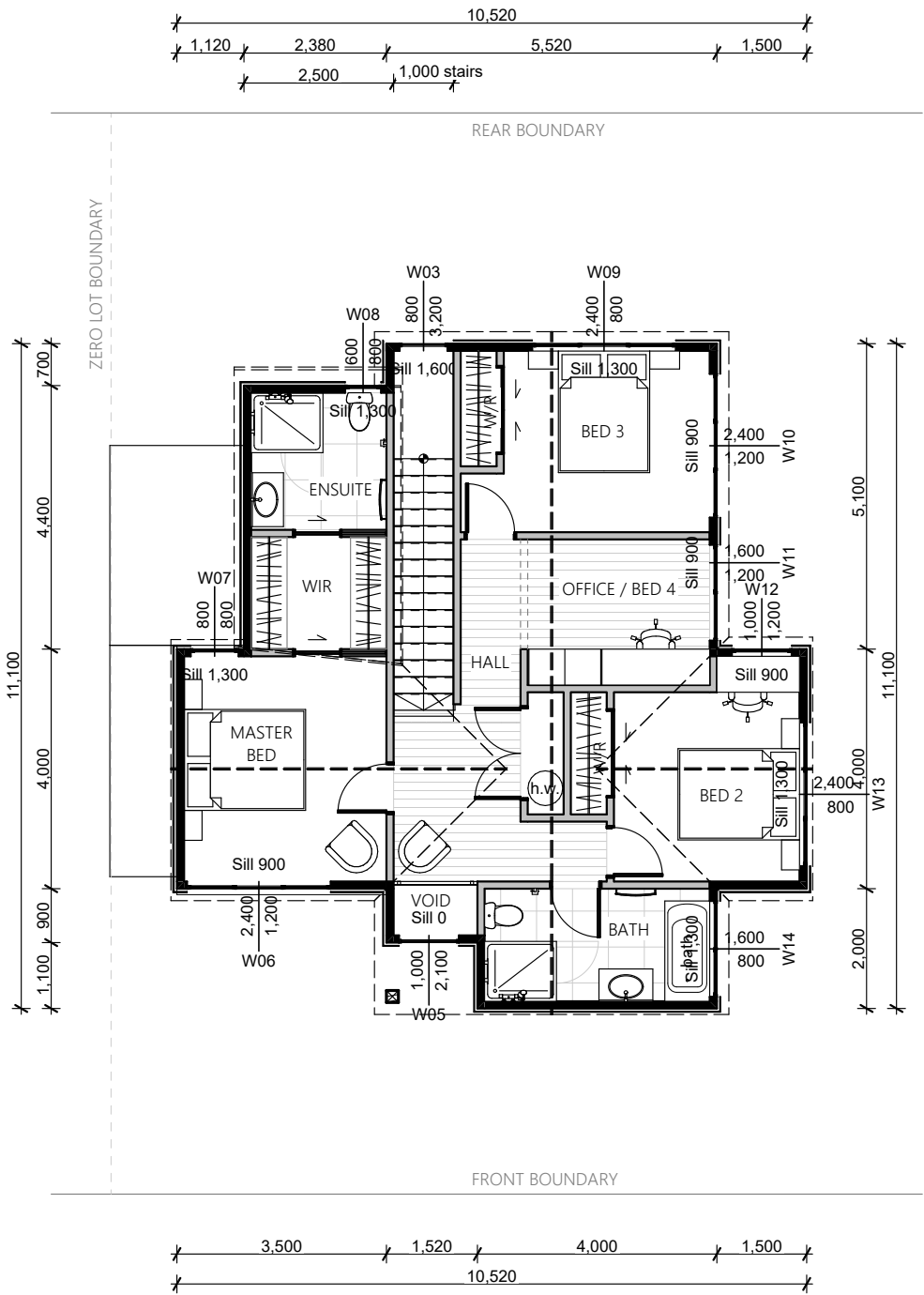
PAGE 53

Item 2

Attachment E



1 Type A - Ground Floor Plan 1:100



2 Type A - First Floor Plan 1:100

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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SITE MEASUREMENTS AND CONDITIONS BEFORE COUNCIL LODGEMENT, MARKETING,
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023

Ground Floor Area (incl garage) = 99.06m²
First Floor Area = 83.34m²
Total Floor Area = 182.40m²

TITLE
TYPE A FLOOR PLANS

SCALE (A3)
1:100

0 1 2

NORTH

PROJECT
BROOKVALE ROAD DEVELOPMENT

CLIENT
ODERINGS NURSERIES CHCH LTD

JOB NO
22-04005

STATUS
RESOURCE CONSENT

DRAWING NO
A105

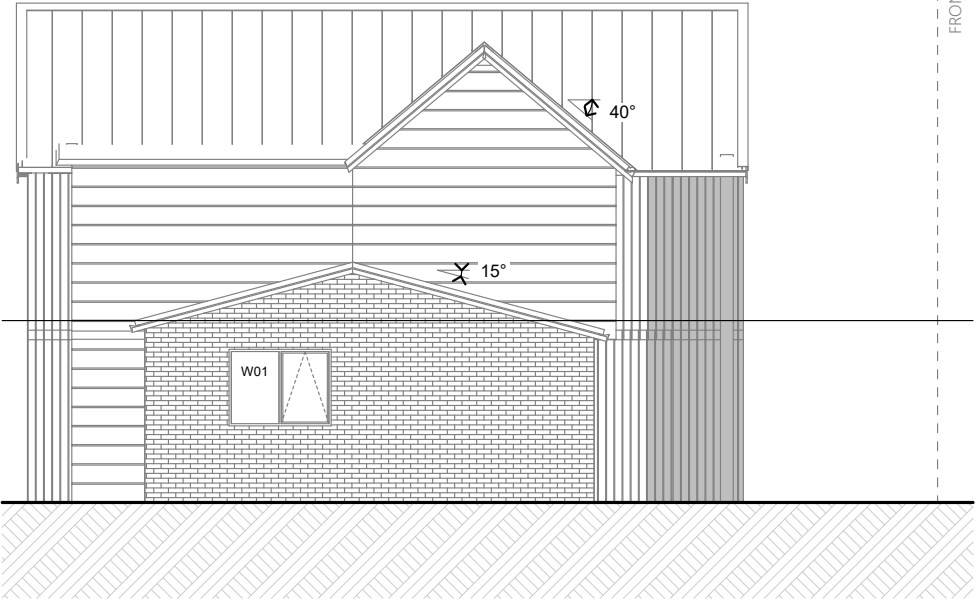
REVISION
A

DATE
30/05/2023

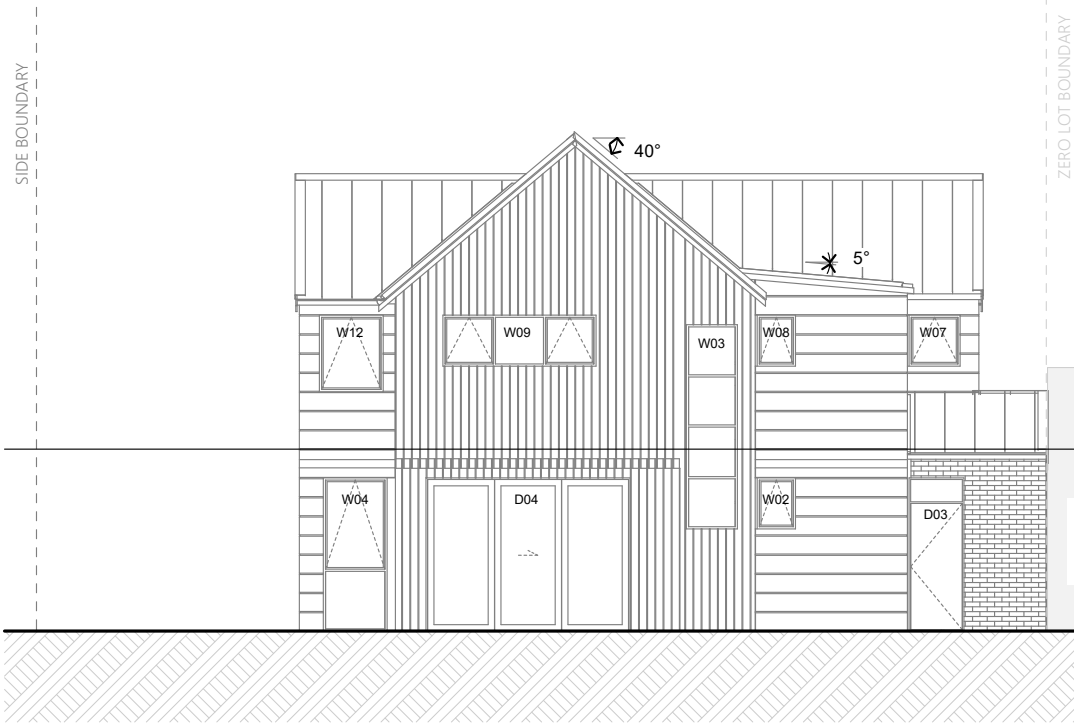
Saddleback



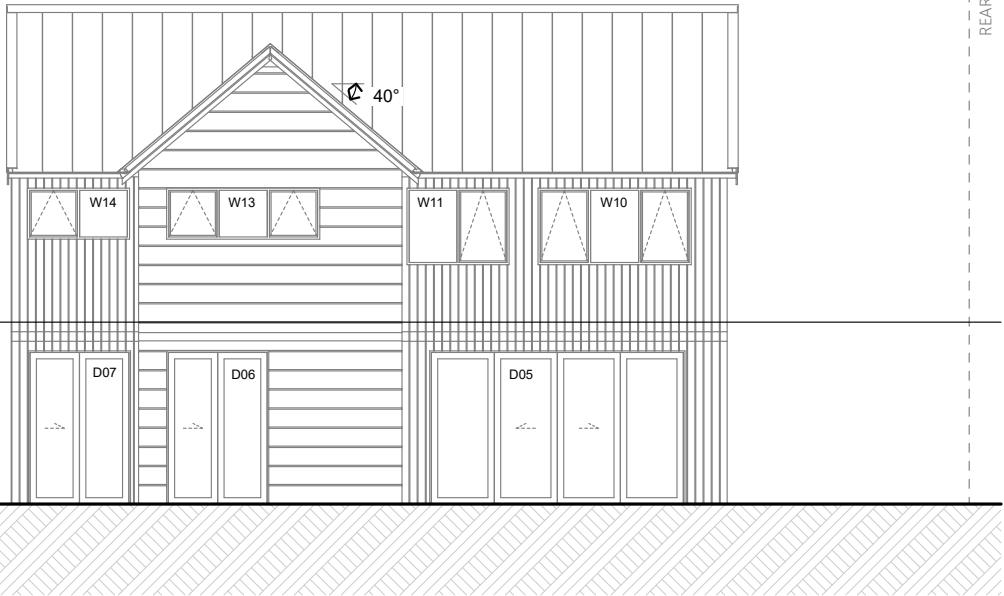
E1 Front Elevation 1:100



E2 Side Elevation 1:100



E3 Rear Elevation 1:100



E4 Side Elevation 1:100

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY. ALL CONSULTANTS AND CONTRACTORS MUST VERIFY ALL ANGLES, DIMENSIONS, LAYOUTS, SITE MEASUREMENTS AND CONDITIONS BEFORE COUNCIL LODGEMENT, MARKETING, FABRICATION OR CONSTRUCTION.
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023
03	RESOURCE CONSENT	30-05-2023

TITLE

TYPE A - TYPICAL ELEVATIONS

NORTH

SCALE (A3)

1:100

0 1 2

PROJECT

BROOKVALE ROAD DEVELOPMENT

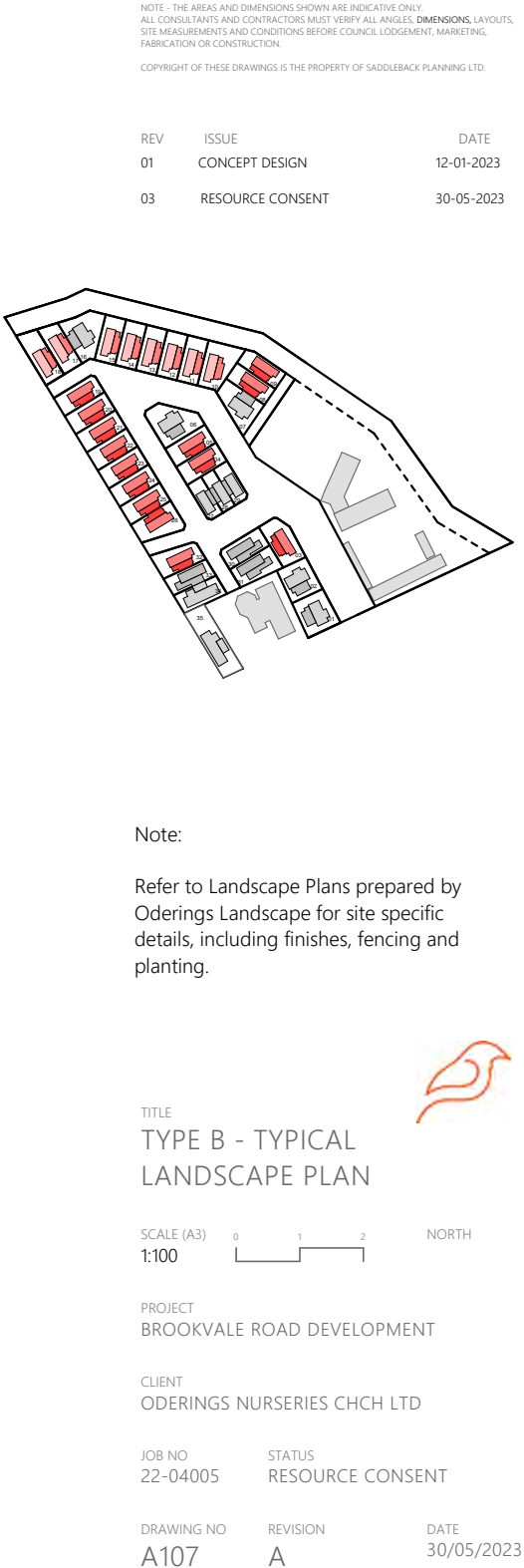
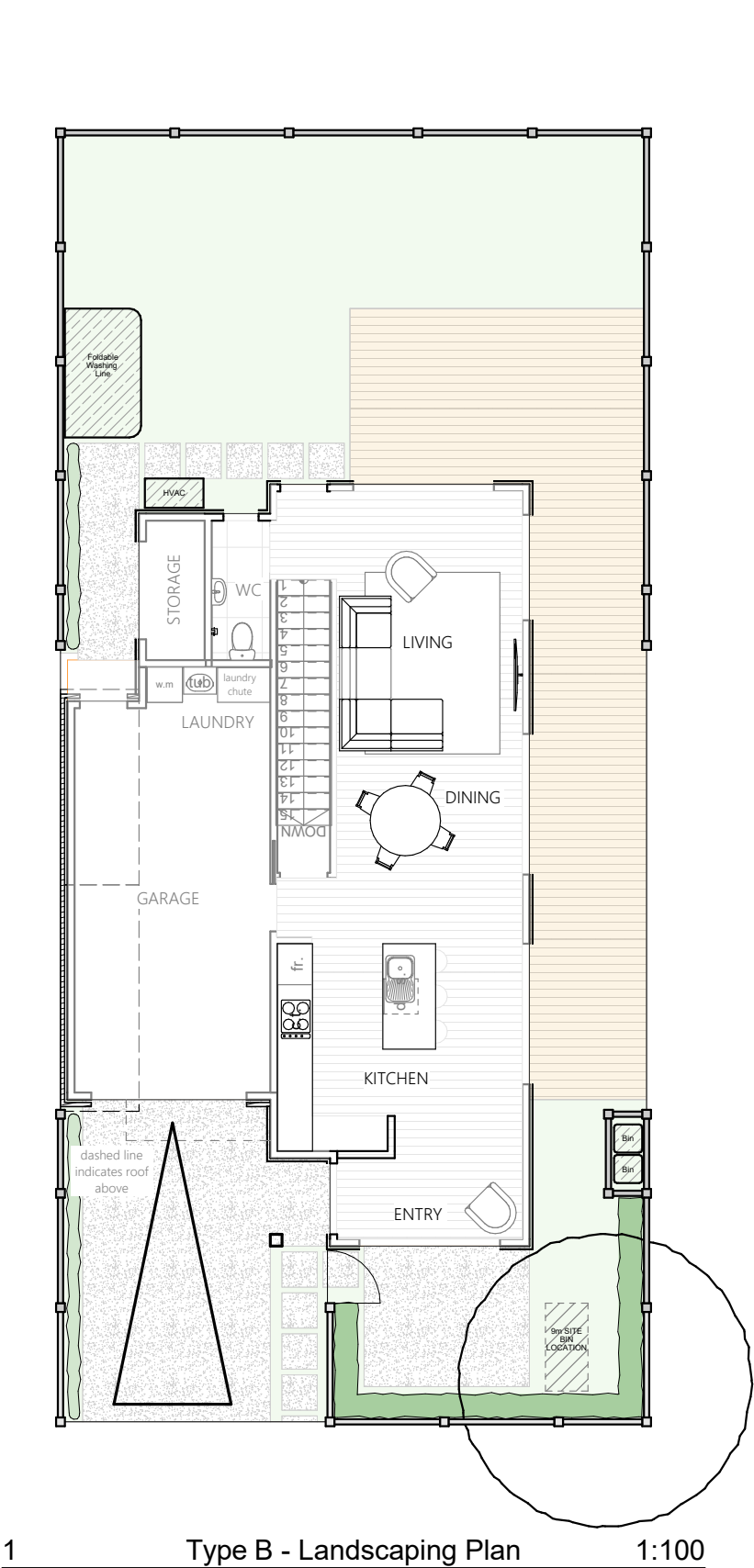
CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO	STATUS
22-04005	RESOURCE CONSENT

DRAWING NO	REVISION	DATE
A106	A	30/05/2023

Saddleback



Note:

Refer to Landscape Plans prepared by Oderings Landscape for site specific details, including finishes, fencing and planting.

TITLE

TYPE B - TYPICAL LANDSCAPE PLAN

SCALE (A3)

1:100

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A107

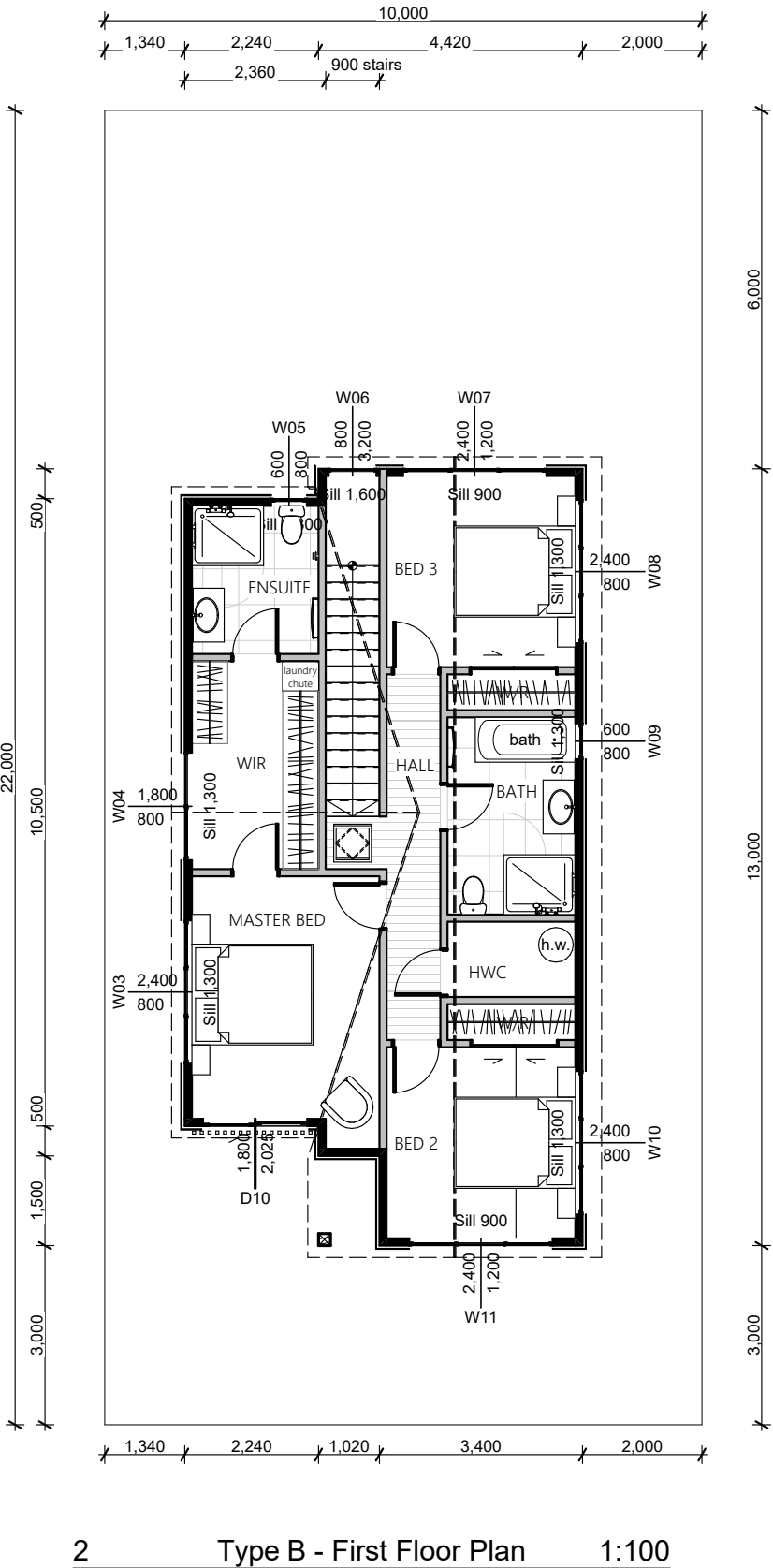
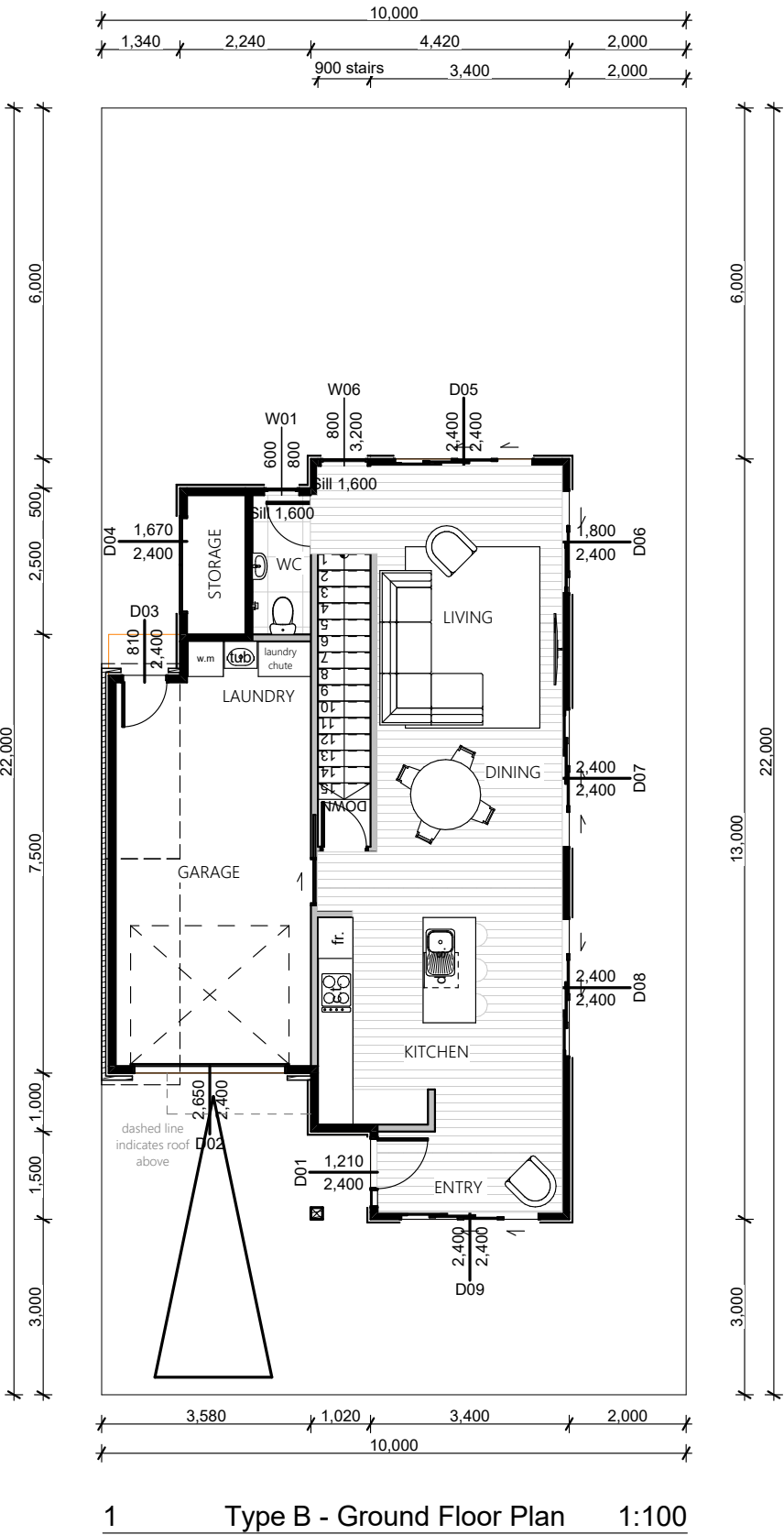
REVISION

A

DATE

30/05/2023

Saddleback



NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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SITE MEASUREMENTS AND CONDITIONS BEFORE COUNCIL LODGEMENT, MARKETING,
FABRICATION OR CONSTRUCTION.
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023

Ground Floor Area (incl garage) = 87.47m²
First Floor Area = 73.51m²
Total Floor Area = 160.98m²

TITLE

TYPE B FLOOR PLANS

SCALE (A3)

1:100

0

1

2

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A108

REVISION

A

DATE

30/05/2023

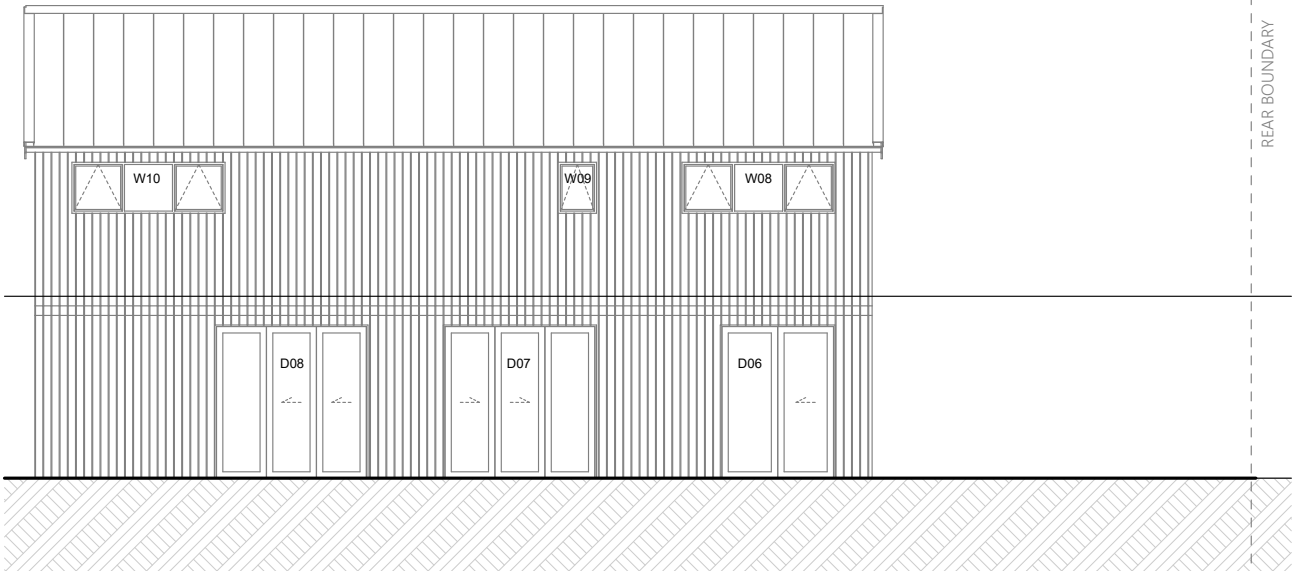
Saddleback

ITEM 2

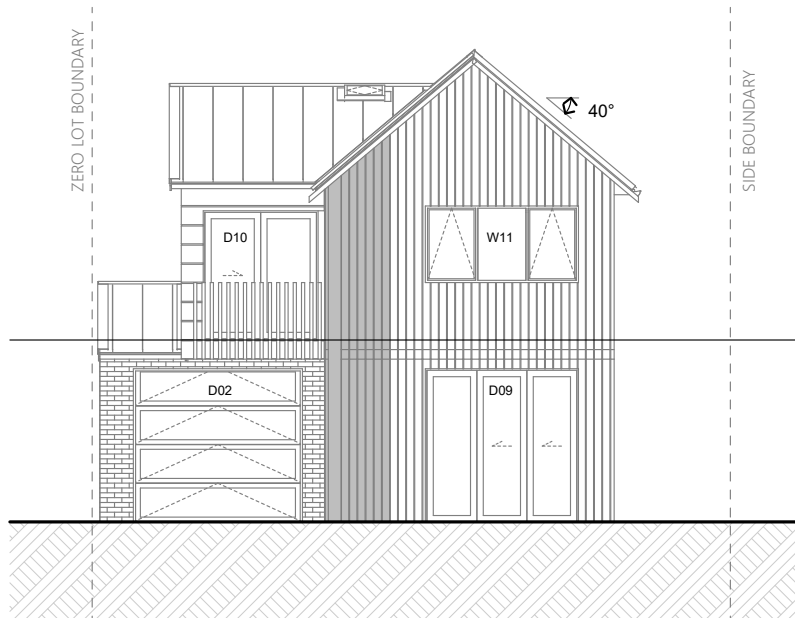
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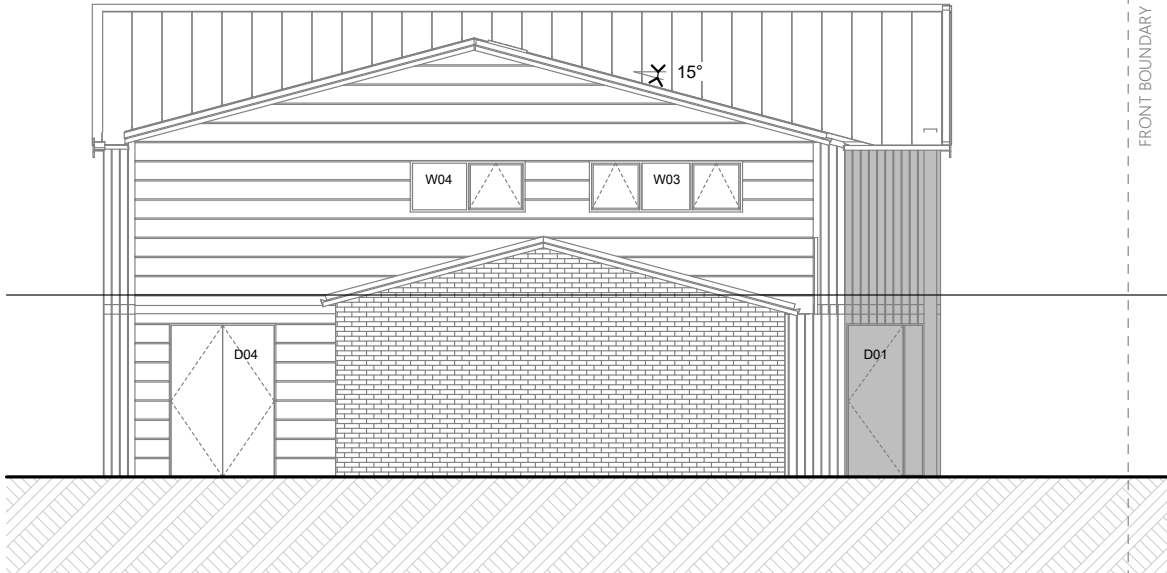
E5 Rear Elevation 1:100



E6 Side Elevation 1:100



E7 Front Elevation 1:100



E8 Side Elevation 1:100

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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SITE MEASUREMENTS AND CONDITIONS BEFORE COUNCIL LODGEMENT, MARKETING,
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023

TITLE
TYPE B - TYPICAL
ELEVATIONS

SCALE (A3) 1:100

0

1

2

NORTH

PROJECT
BROOKVALE ROAD DEVELOPMENT

CLIENT
ODERINGS NURSERIES CHCH LTD

JOB NO 22-04005

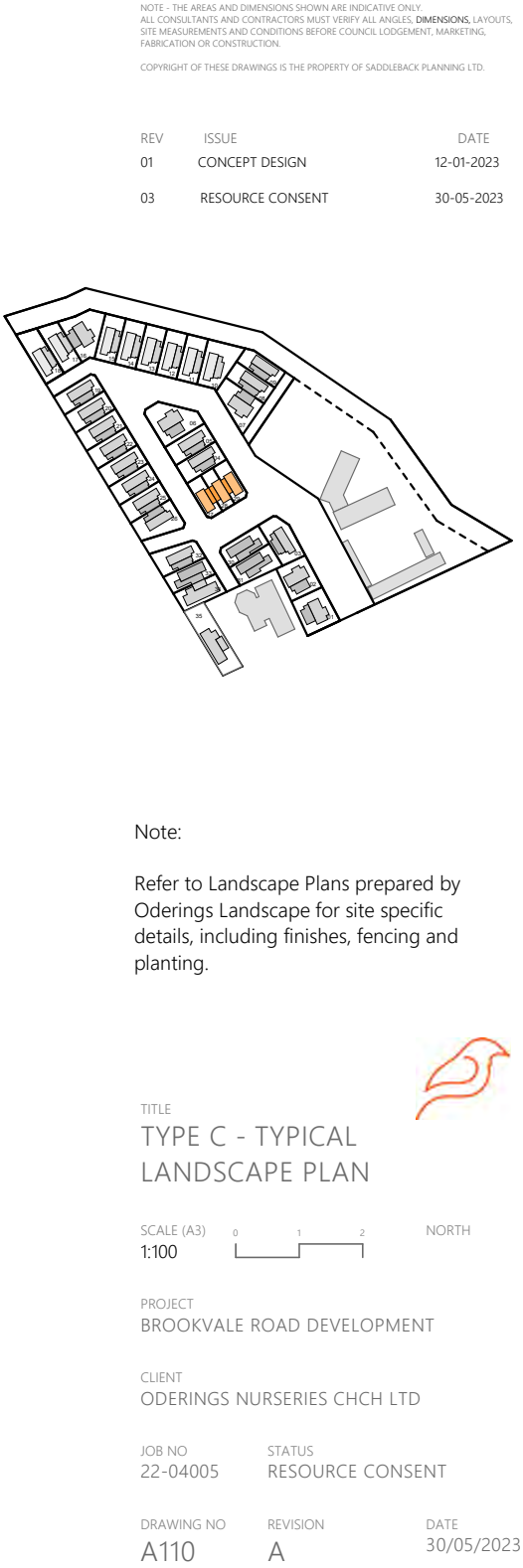
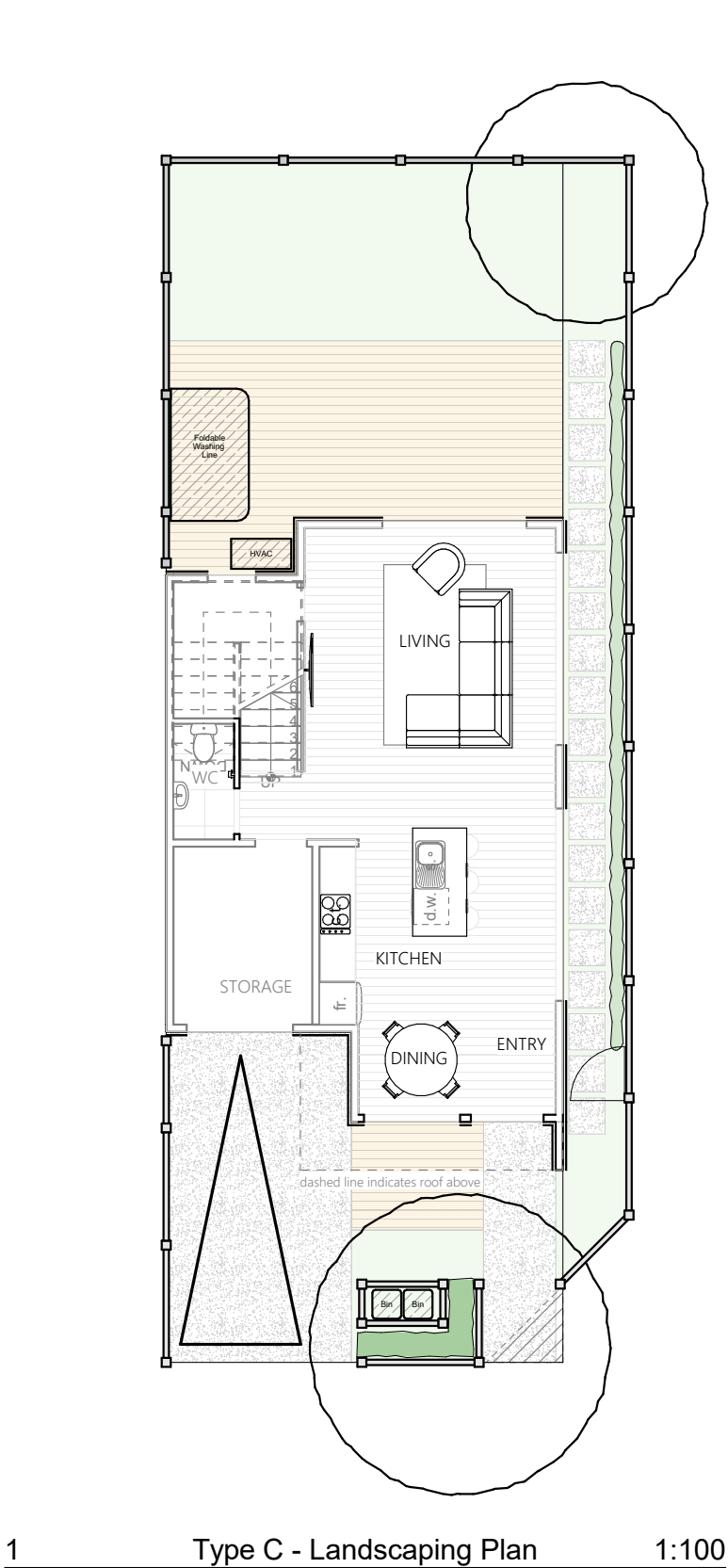
STATUS
RESOURCE CONSENT

DRAWING NO A109

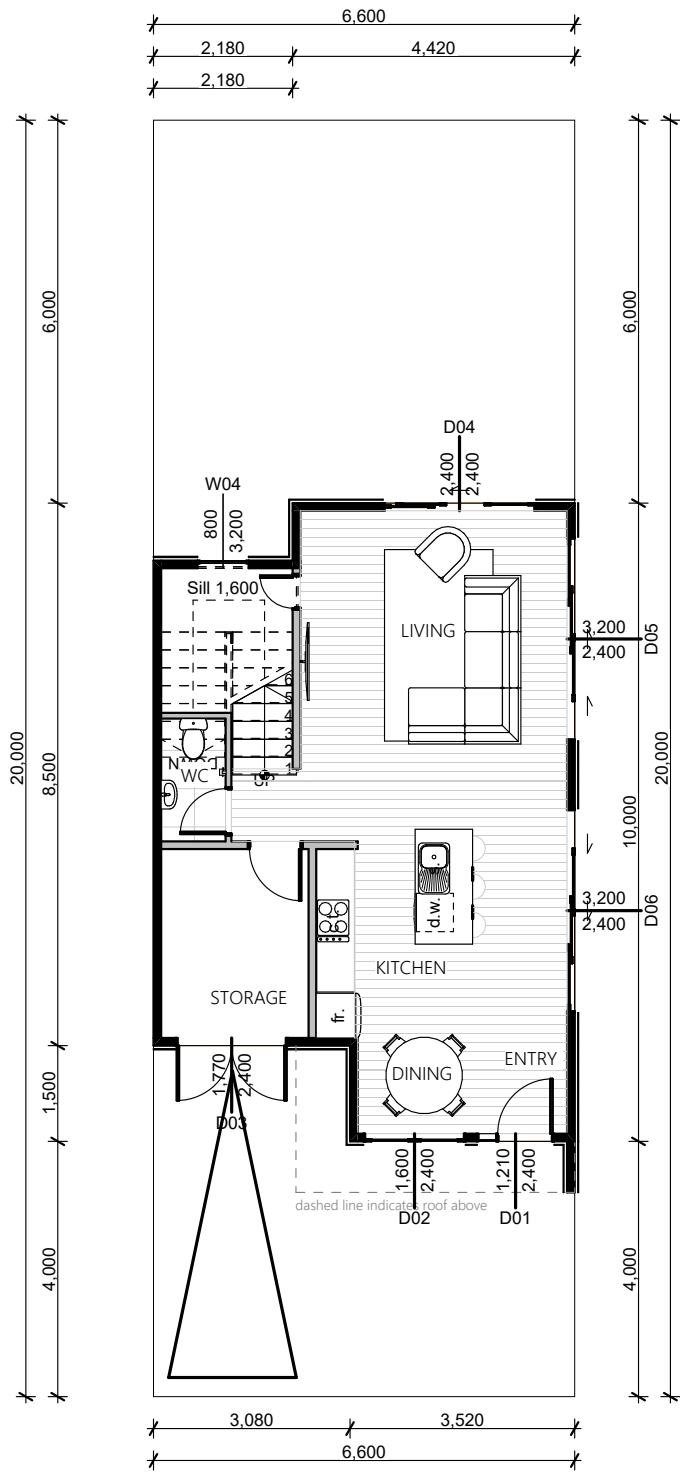
REVISION
A

DATE
30/05/2023

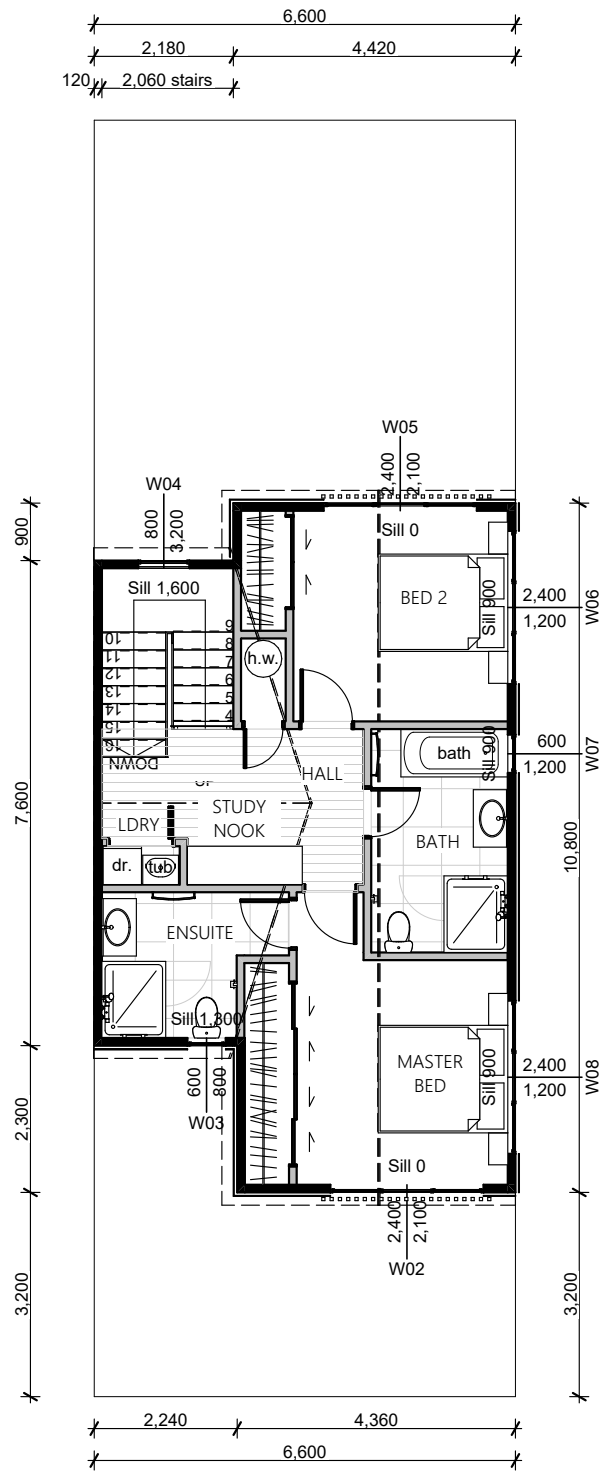
Saddleback



Saddleback



1 Type C - Ground Floor Plan 1:100



2 Type C - First Floor Plan 1:100

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
ALL CONSULTANTS AND CONTRACTORS MUST VERIFY ALL ANGLES, DIMENSIONS, LAYOUTS,
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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023

Ground Floor Area (incl garage) = 59.42m²
First Floor Area = 57.19m²
Total Floor Area = 116.61m²

TITLE
TYPE C FLOOR PLANS

SCALE (A3)
1:100

PROJECT
BROOKVALE ROAD DEVELOPMENT

CLIENT
ODERINGS NURSERIES CHCH LTD

JOB NO
22-04005

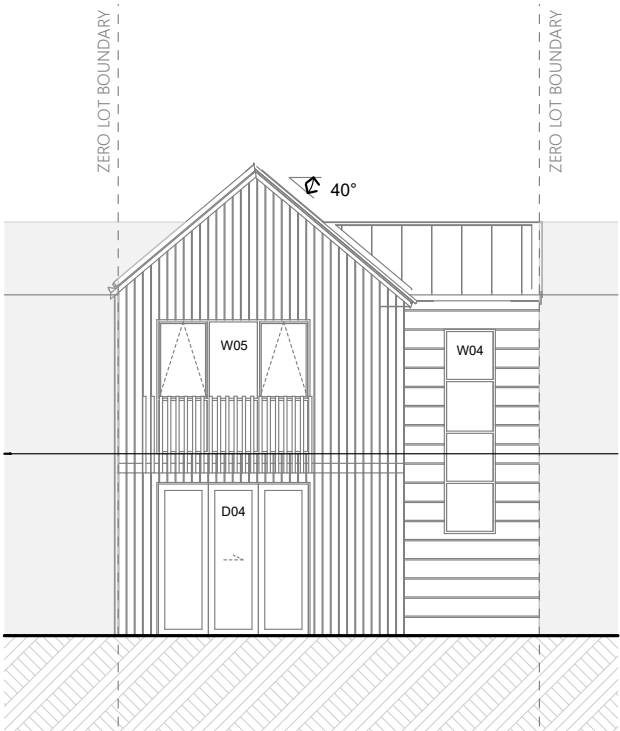
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RESOURCE CONSENT

DRAWING NO
A111

REVISION
A

DATE
30/05/2023

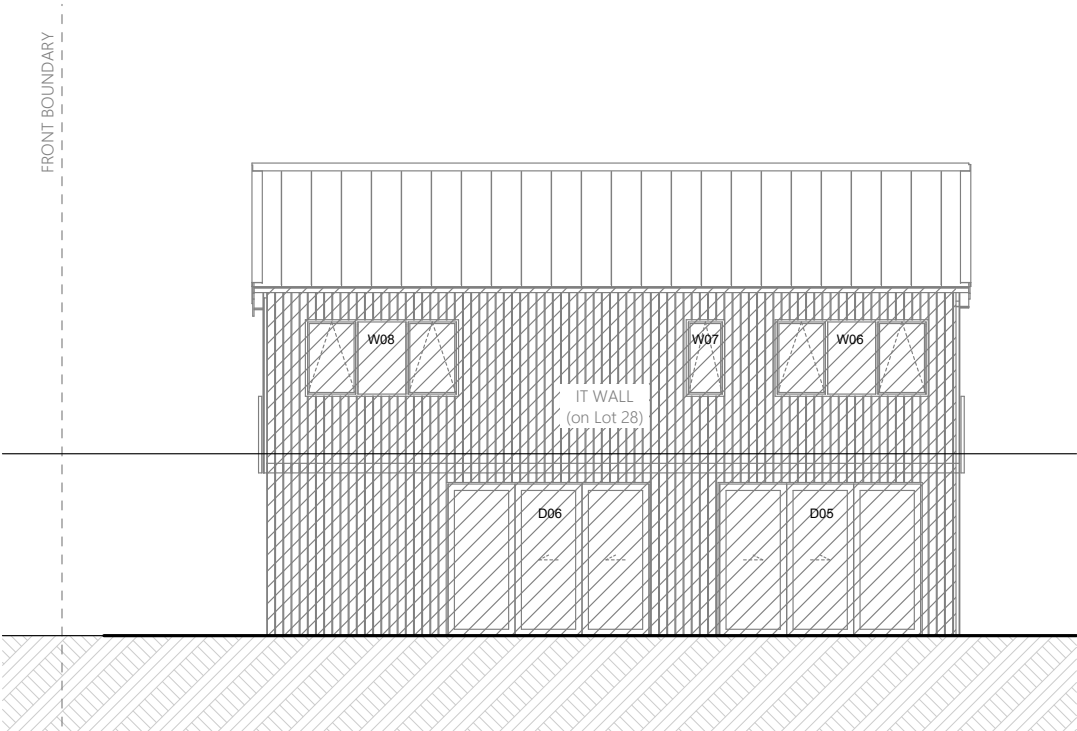
Saddleback



E9

Rear Elevation

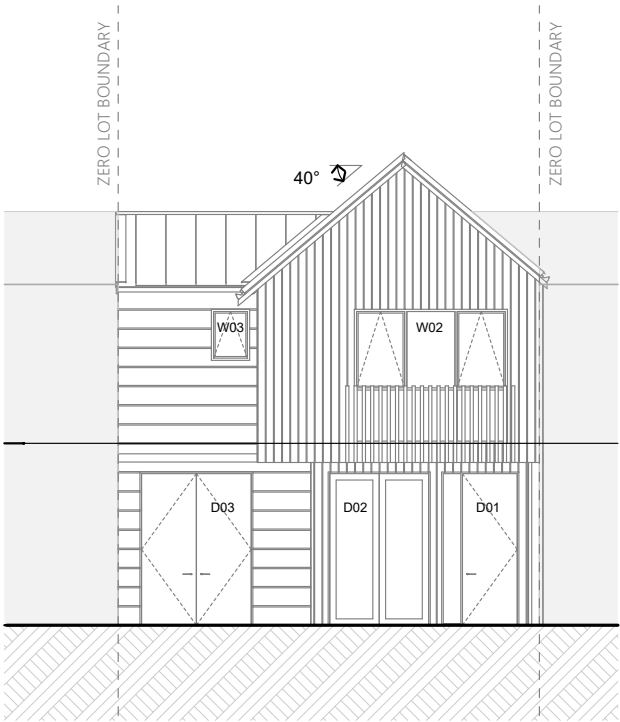
1:100



E10

Side Elevation

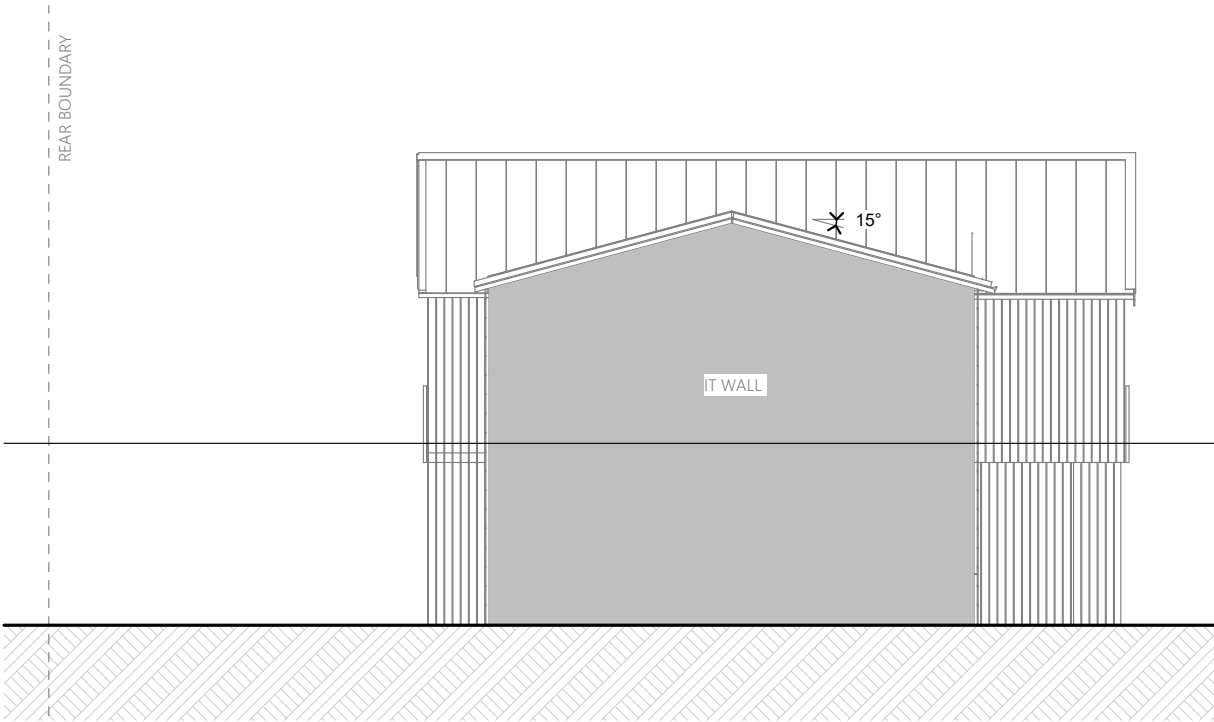
1:100



E11

Front Elevation

1:100



E12

Side Elevation

1:100

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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023

TITLE
TYPE C - TYPICAL
ELEVATIONS

SCALE (A3)
1:100

0 1 2

NORTH

PROJECT
BROOKVALE ROAD DEVELOPMENT

CLIENT
ODERINGS NURSERIES CHCH LTD

JOB NO
22-04005

STATUS
RESOURCE CONSENT

DRAWING NO
A112

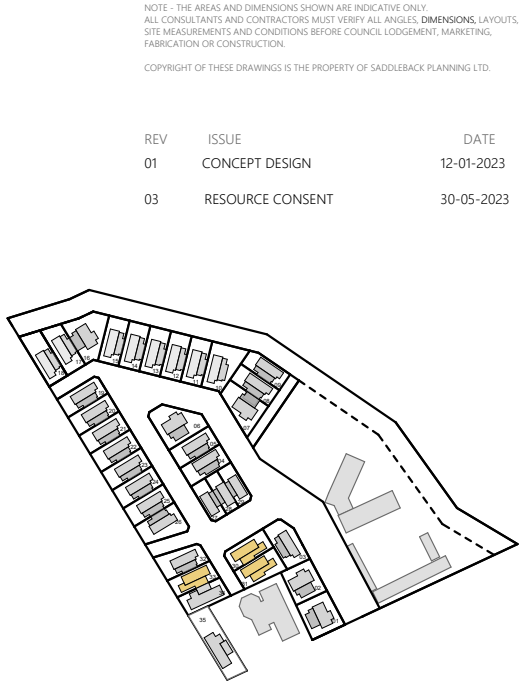
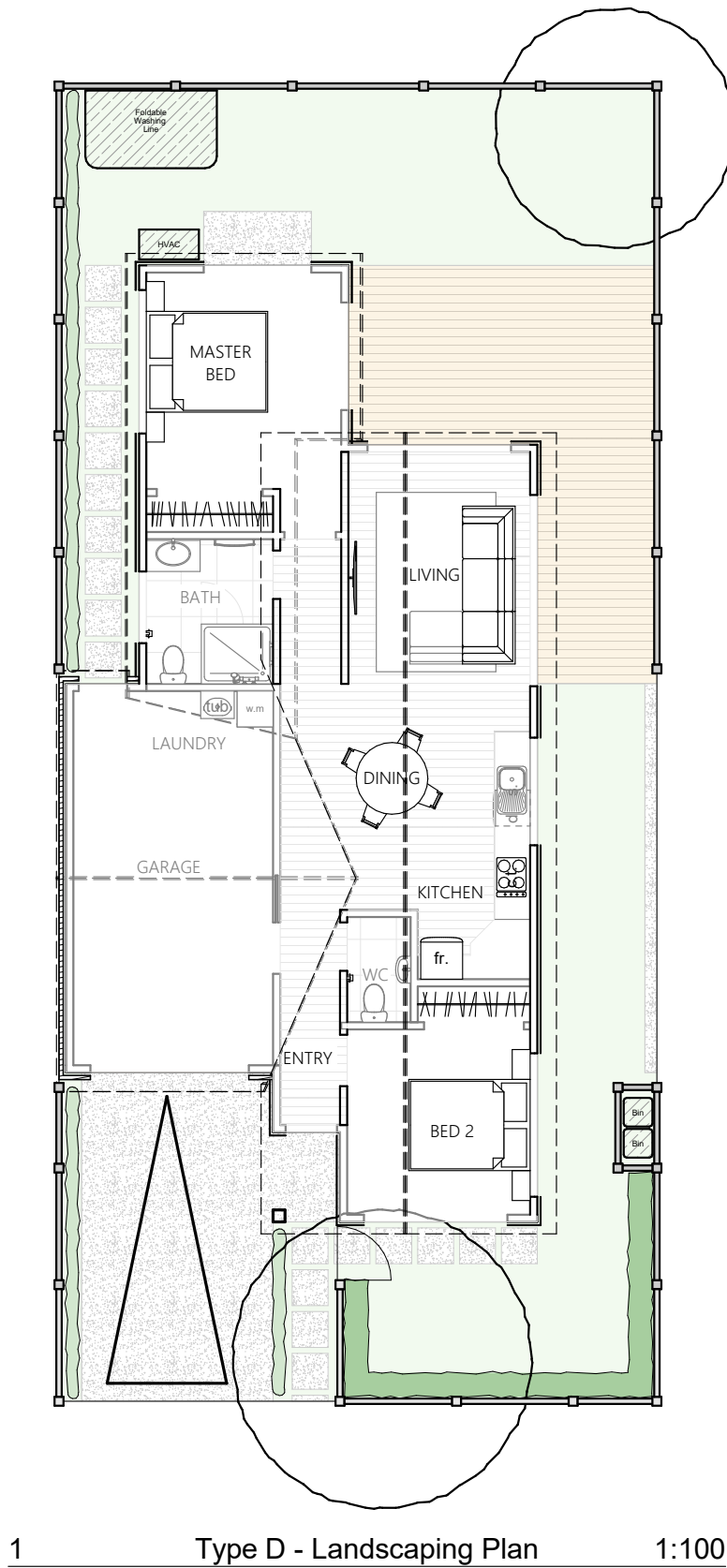
REVISION
A

DATE
30/05/2023

Saddleback

Item 2

Attachment E



Note:

Refer to Landscape Plans prepared by Oderings Landscape for site specific details, including finishes, fencing and planting.

TITLE

TYPE D - TYPICAL LANDSCAPE PLAN



SCALE (A3)

1:100



NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A113

REVISION

A

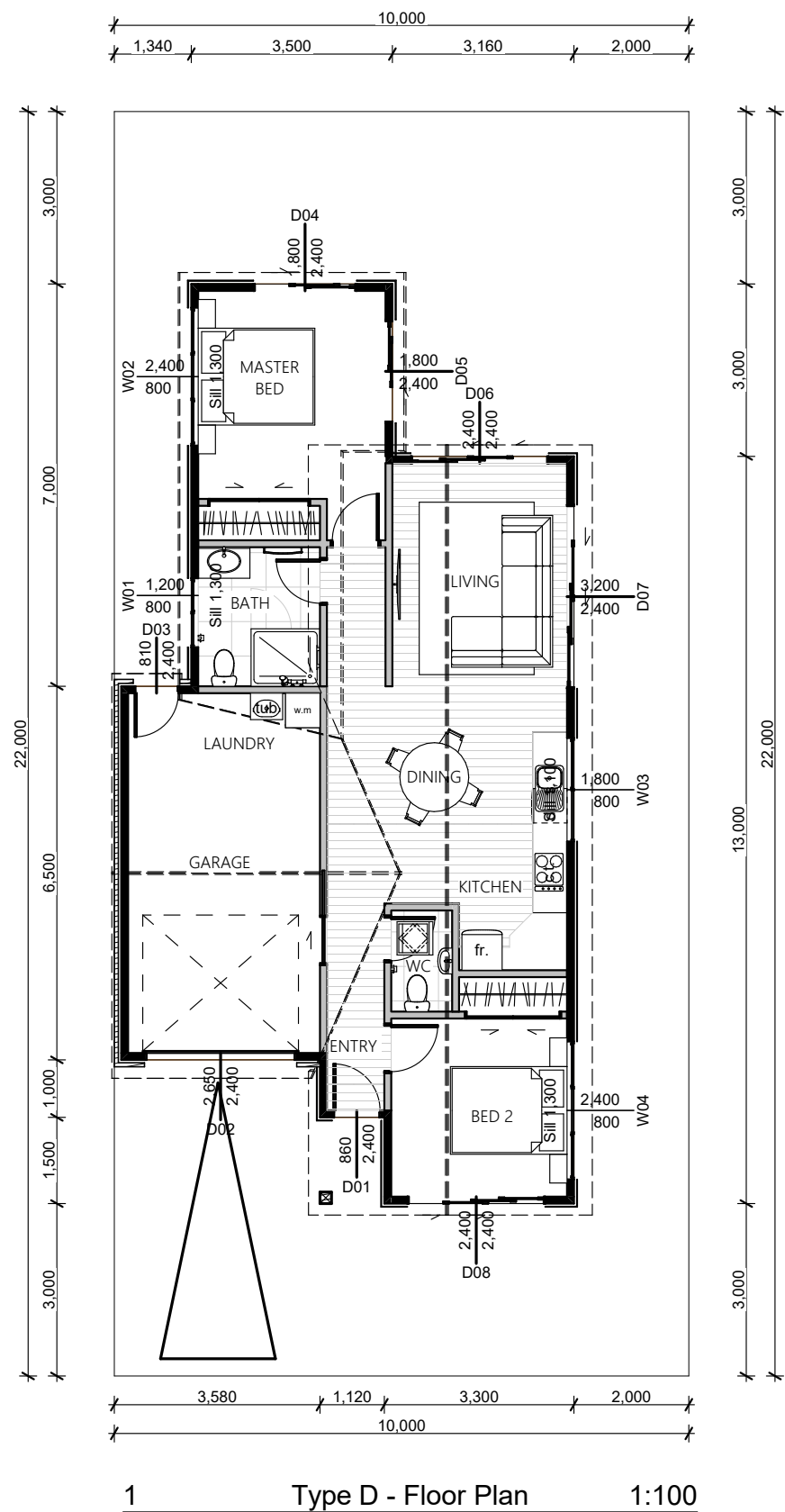
DATE

30/05/2023

Saddleback

ITEM 2

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REV	ISSUE	DATE
01	CONCEPT DESIGN	12-01-2023

Total Floor Area (incl garage) = 97.73m²

TITLE

TYPE D FLOOR PLAN



SCALE (A3)

1:100



NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A114

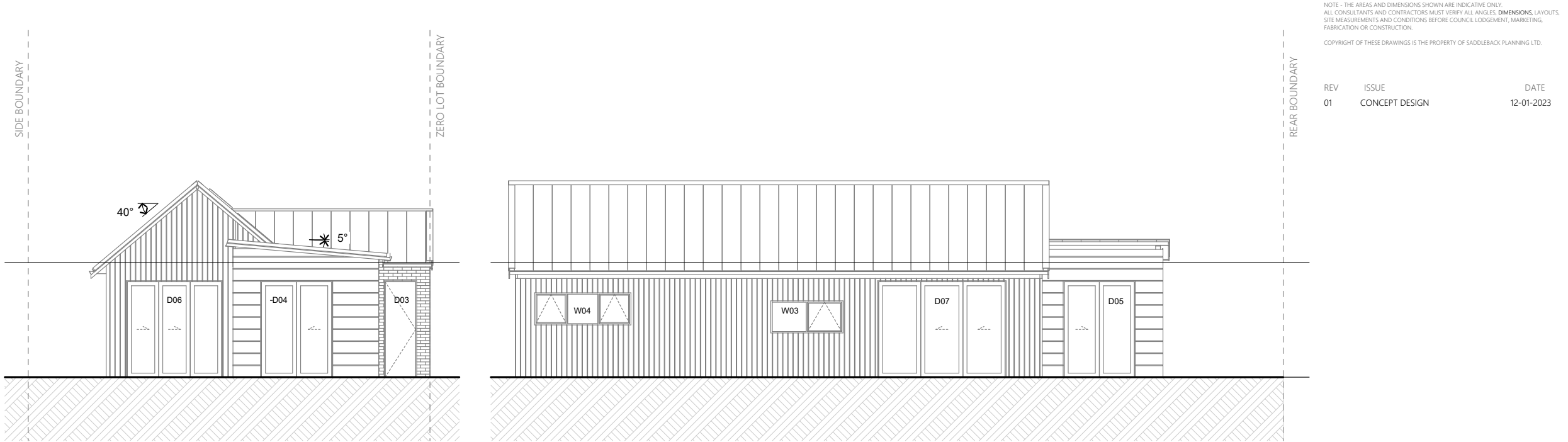
REVISION

A

DATE

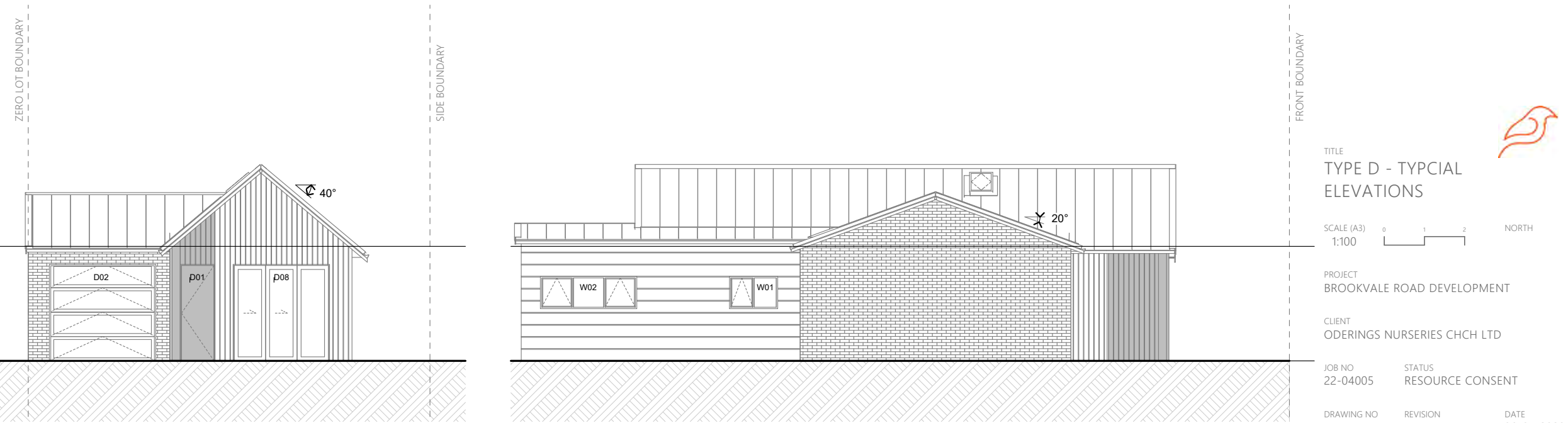
30/05/2023

Saddleback



E13 Rear Elevation 1:100

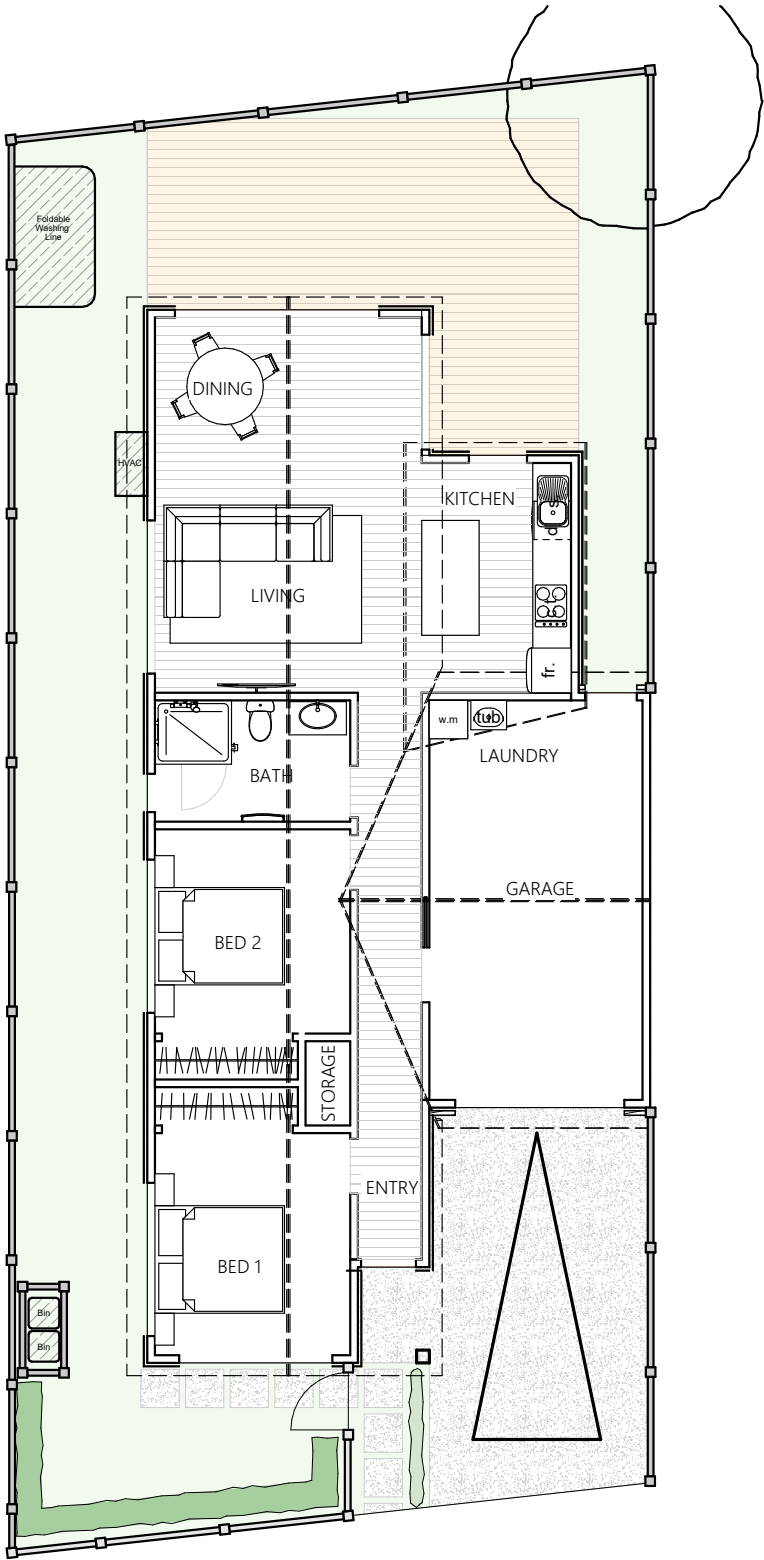
E14 Side Elevation 1:100



E15 Front Elevation 1:100

E16 Side Elevation 1:100

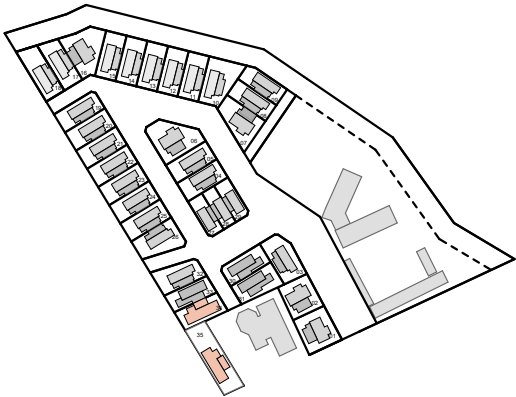
Saddleback



1 Type D2 - Landscaping Plan 1:100

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REV	ISSUE	DATE
02	CONCEPT DESIGN	24-01-2023



Note:

Refer to Landscape Plans prepared by
Oderings Landscape for site specific
details, including finishes, fencing and
planting.

TITLE

TYPE D2 - TYPICAL
LANDSCAPE PLAN



SCALE (A3)

1:100



NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A116

REVISION

A

DATE

30/05/2023

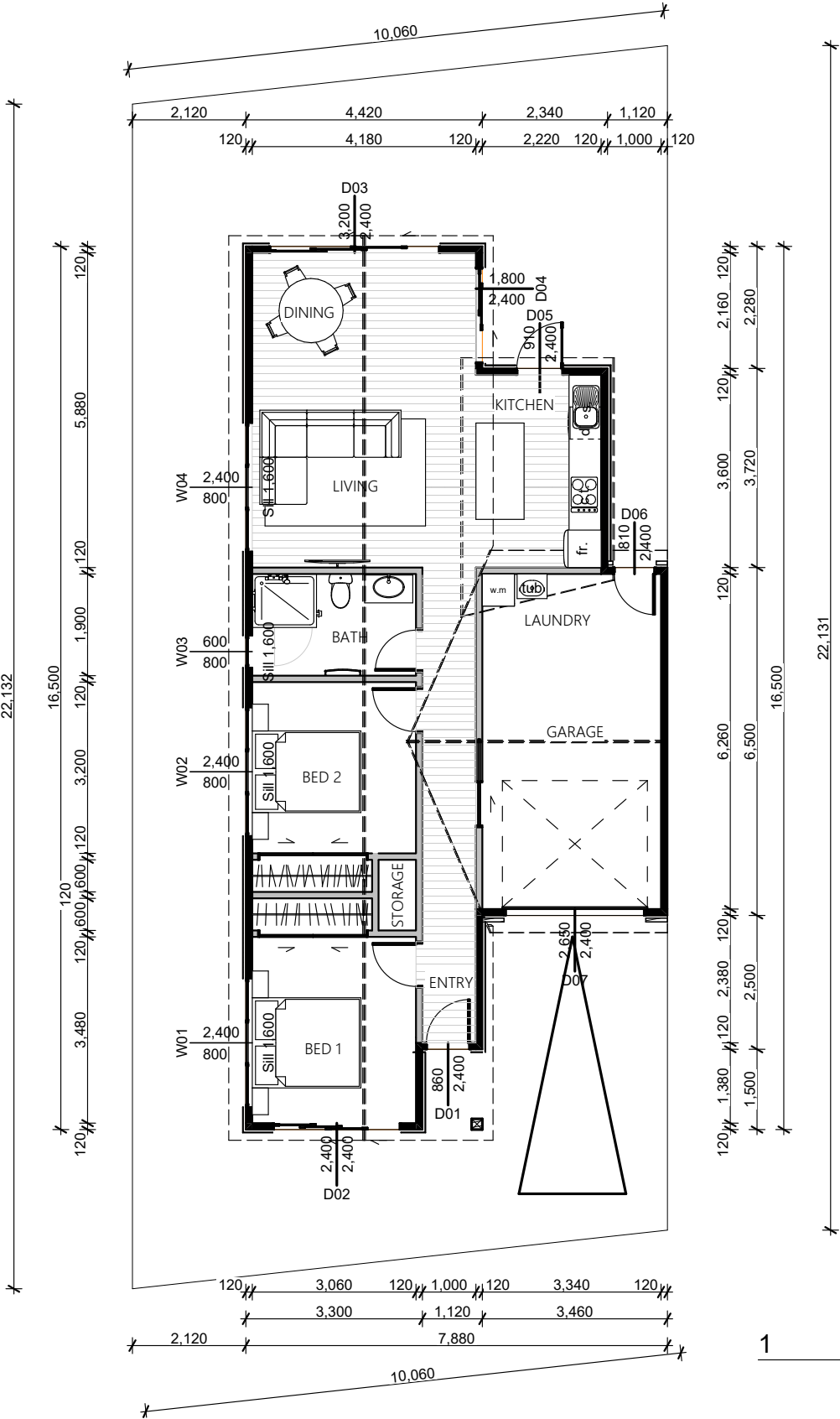
Saddleback

ITEM 2

PAGE 65

Item 2

Attachment E



1 Type D2 - Floor Plan 1:100

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REV	ISSUE	DATE
02	CONCEPT DESIGN	24-01-2023

Total Floor Area (incl garage) = 102.44m²

TITLE

TYPE D2 FLOOR PLAN



SCALE (A3)

1:100



NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A117

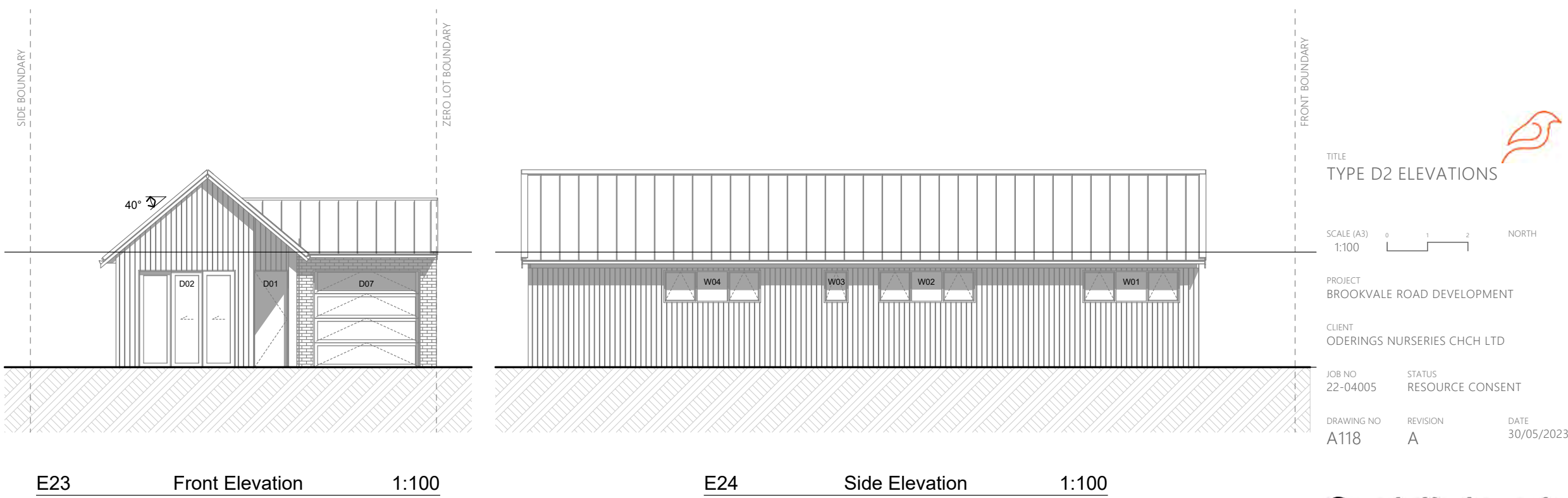
REVISION

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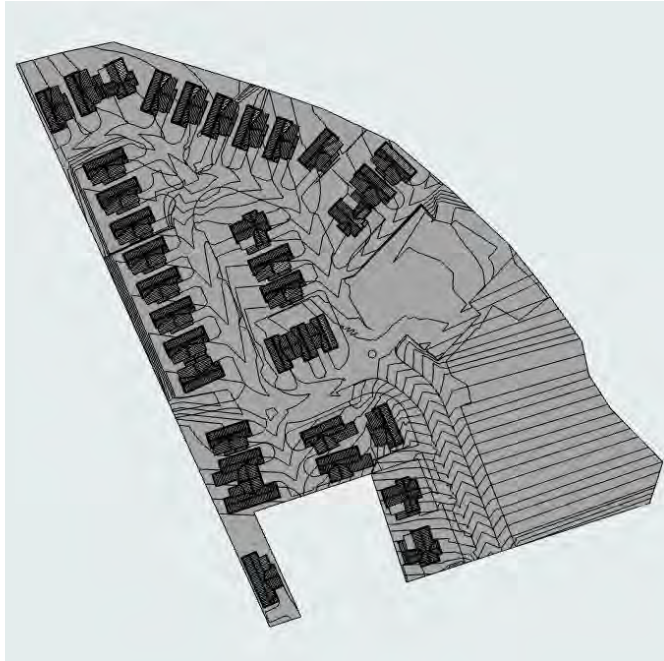
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30/05/2023

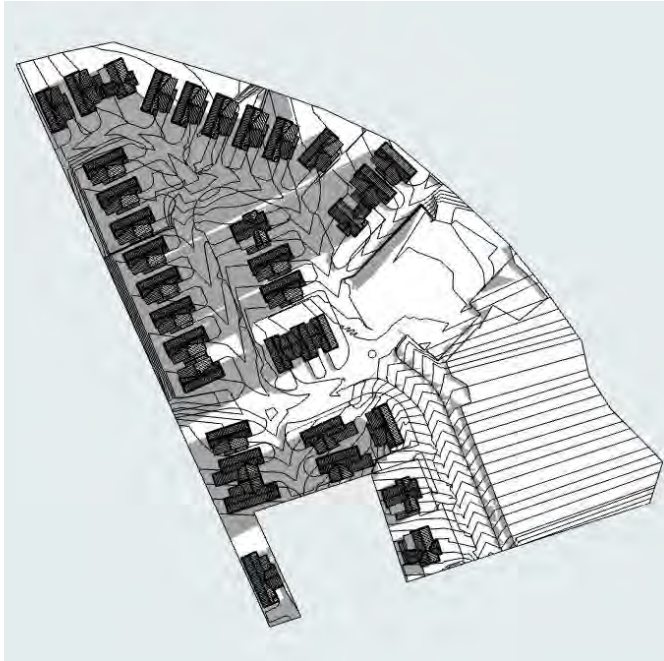
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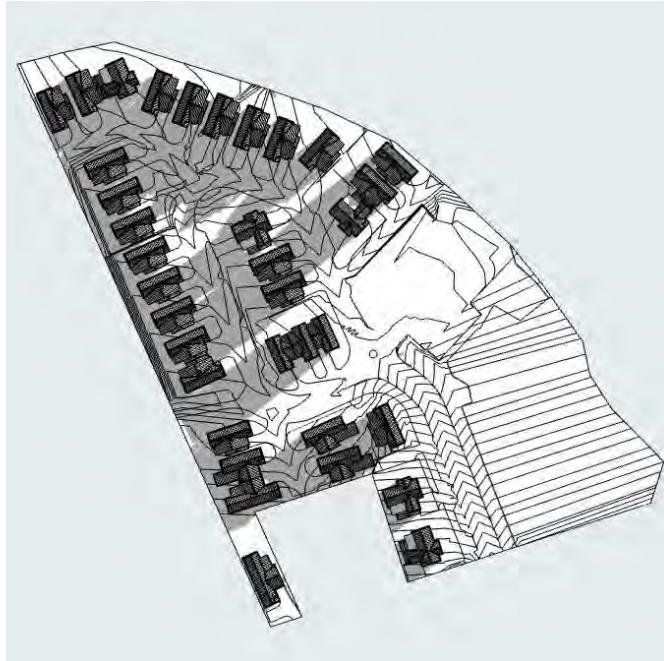
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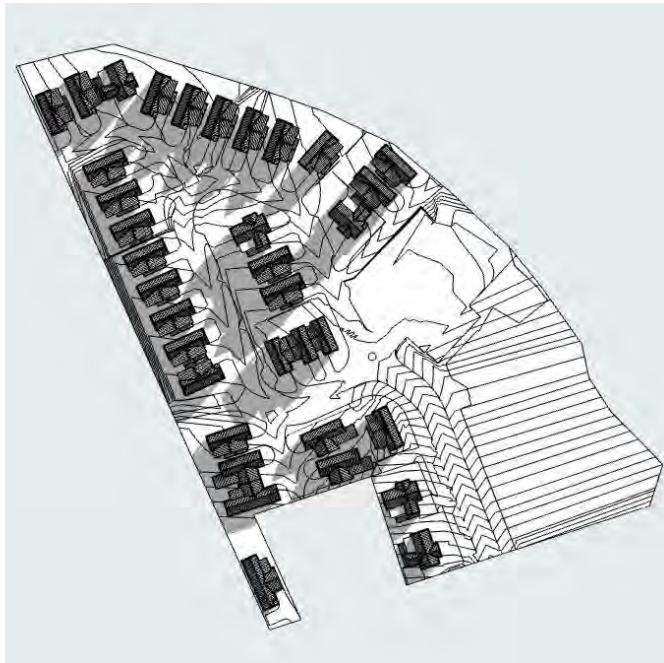
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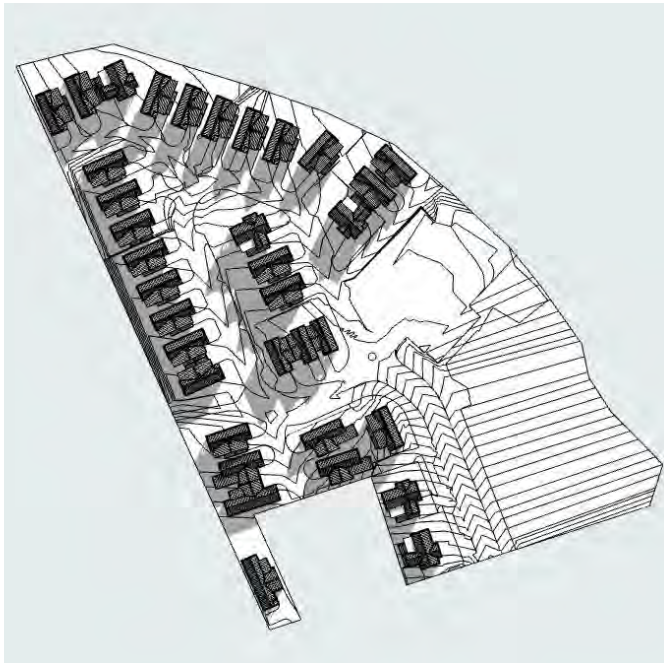
June 21st, 8:00am



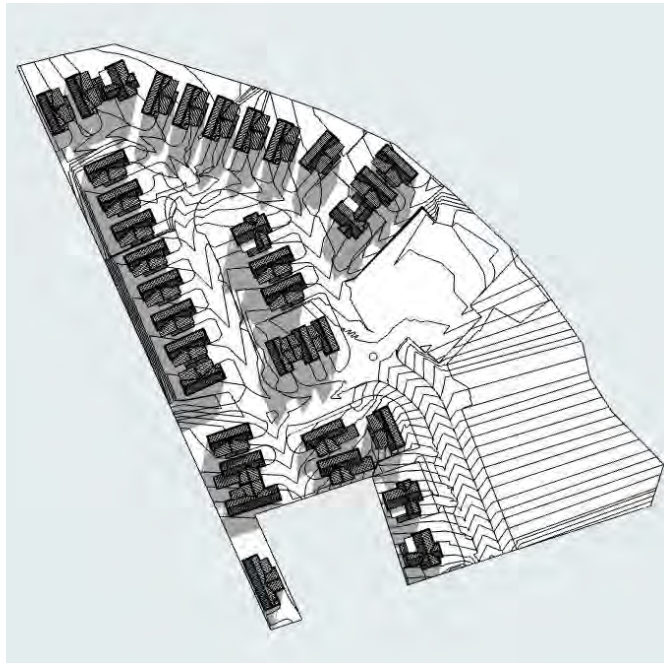
June 21st, 9:00am



June 21st, 10:00am



June 21st, 11:00am




June 21st, 12:00pm

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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - JUNE



SCALE (A3)

N.T.S

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A119

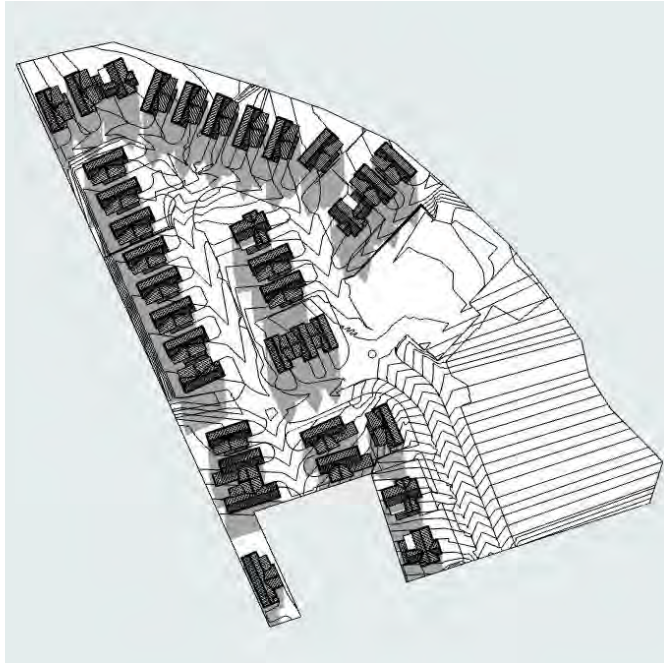
REVISION

A

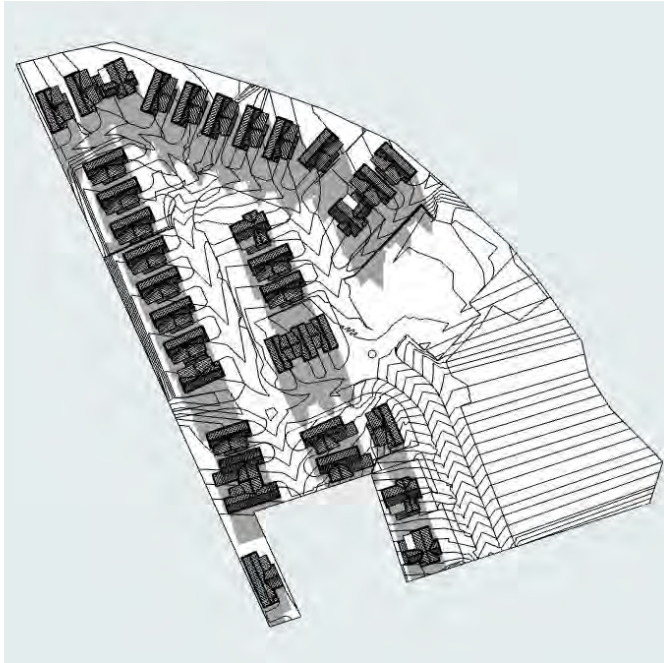
DATE

30/05/2023

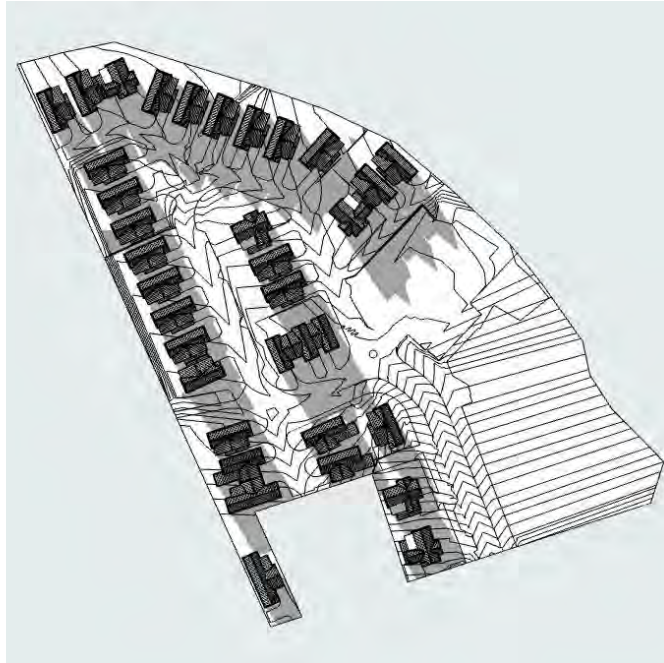
Saddleback



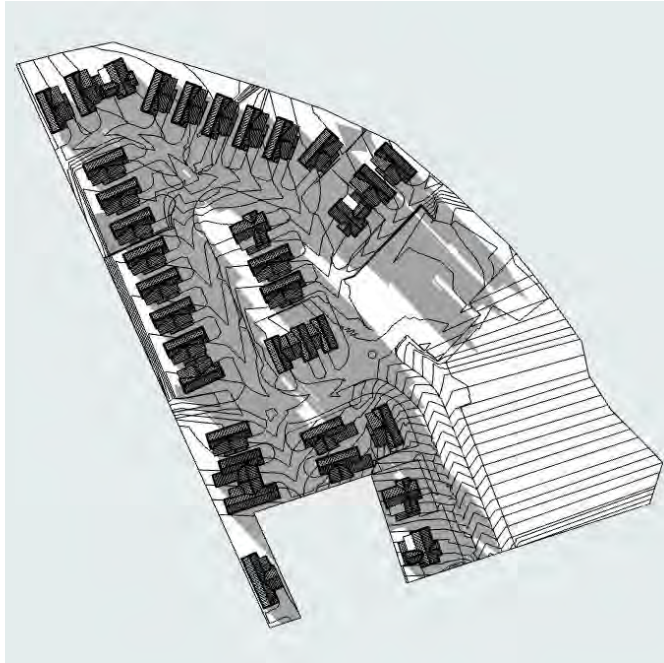
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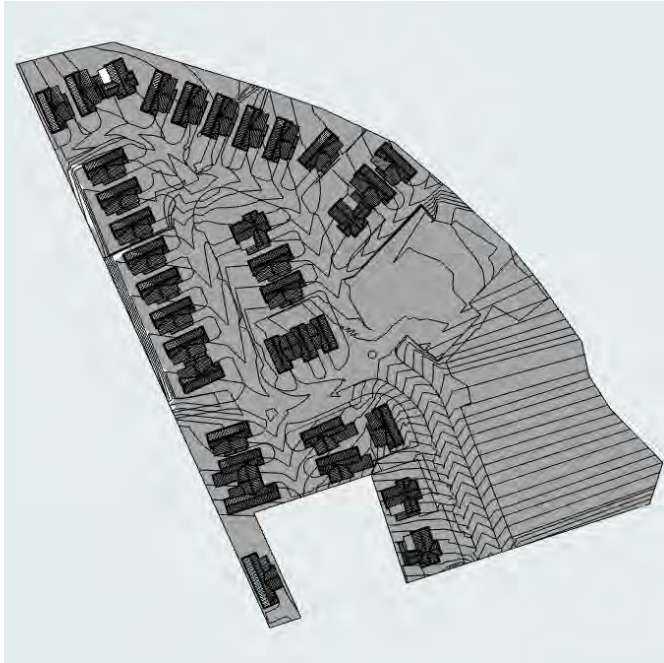
June 21st, 2:00pm



June 21st, 3:00am



June 21st, 4:00pm




June 21st, 5:00pm

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - JUNE



SCALE (A3)

N.T.S

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A120

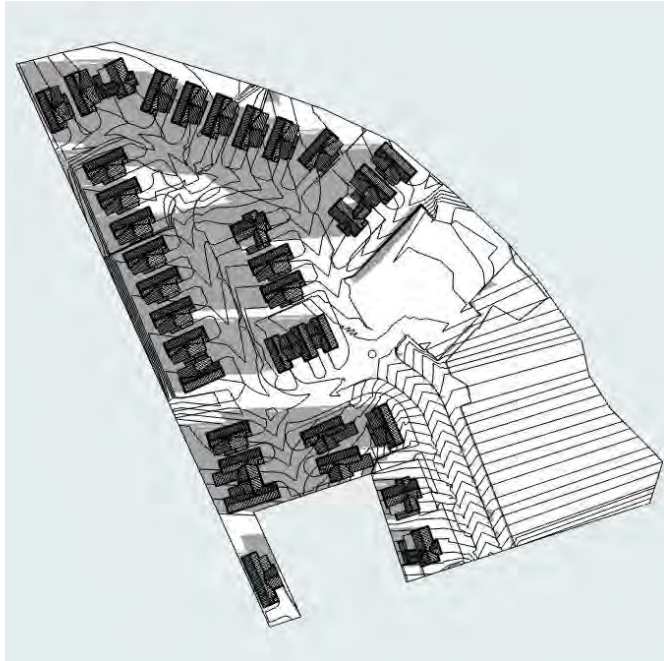
REVISION

A

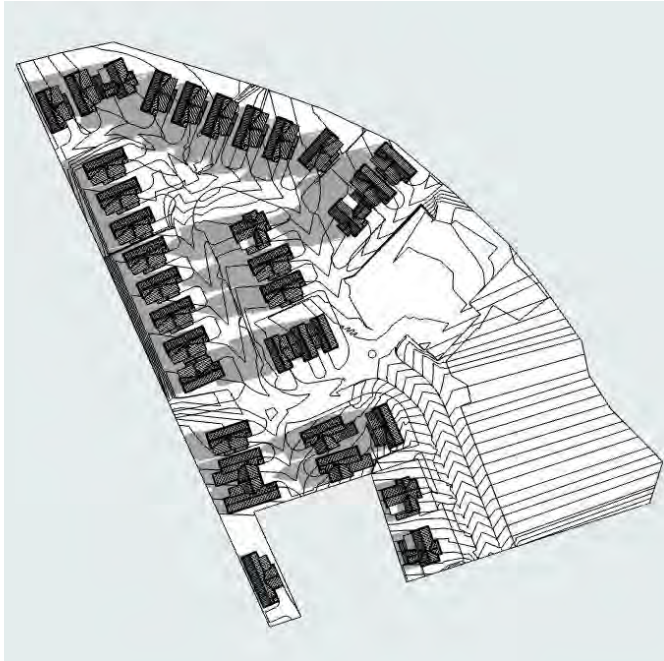
DATE

30/05/2023

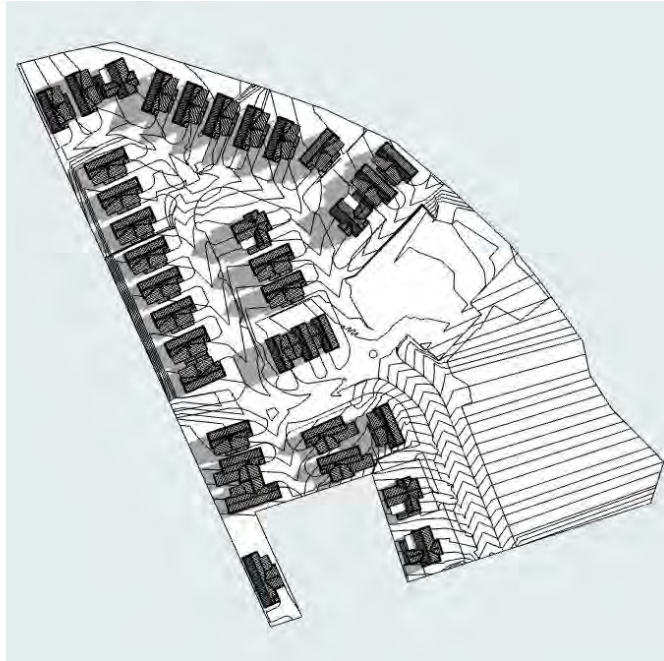
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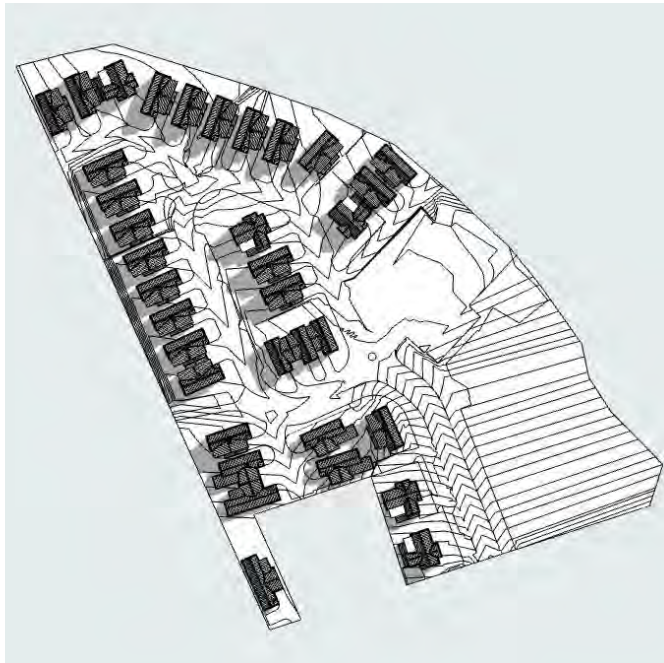
September 22nd, 7:00am



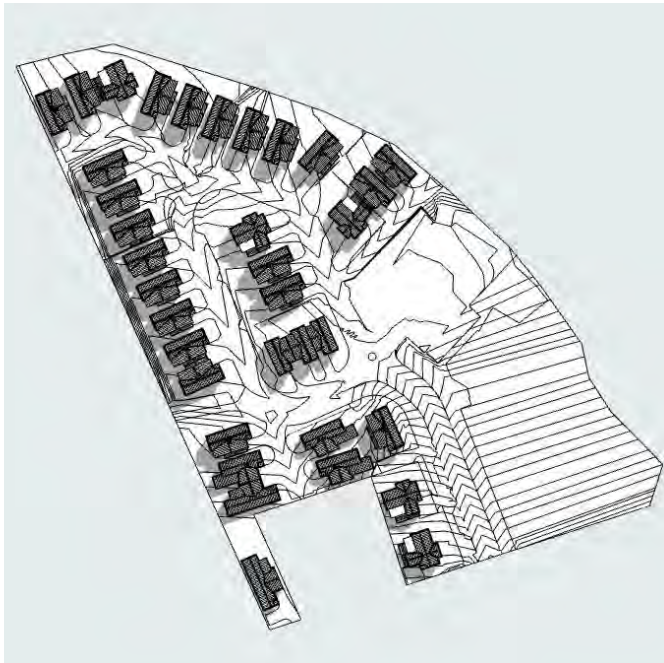
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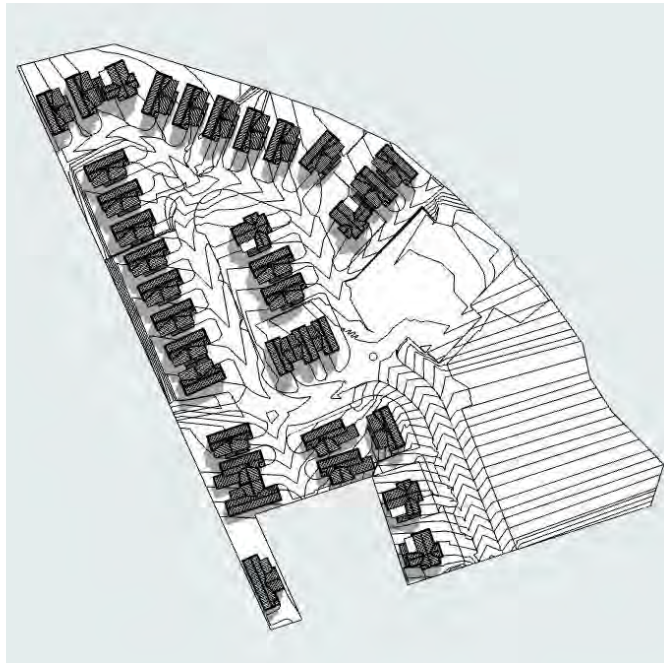
September 22nd, 9:00am



September 22nd, 10:00am



September 22nd, 11:00am



September 22nd, 12:00pm

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - SEPTEMBER



SCALE (A3)

N.T.S

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A121

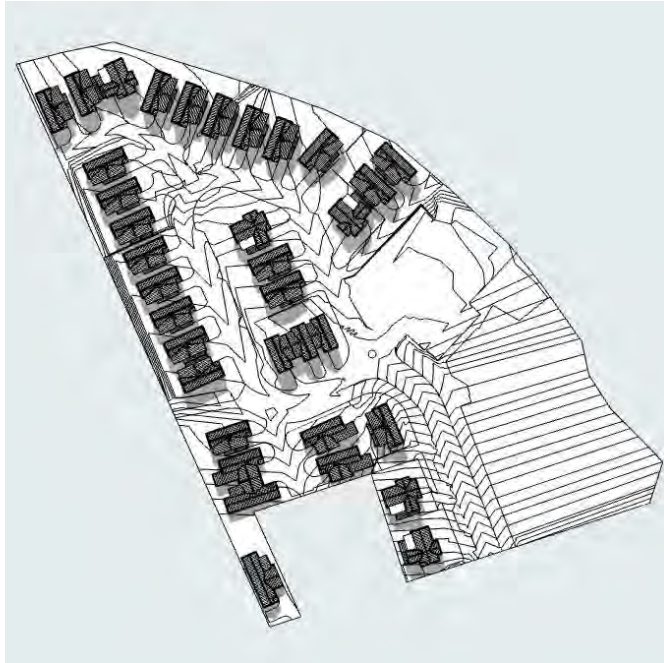
REVISION

A

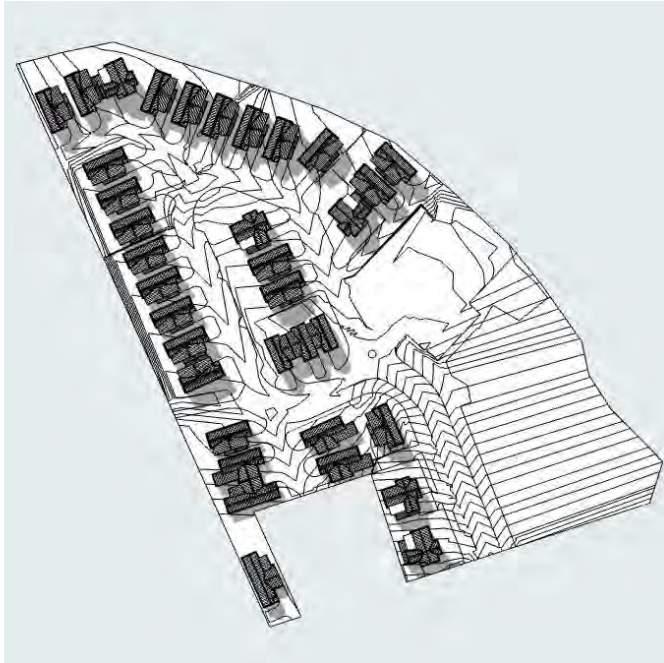
DATE

30/05/2023

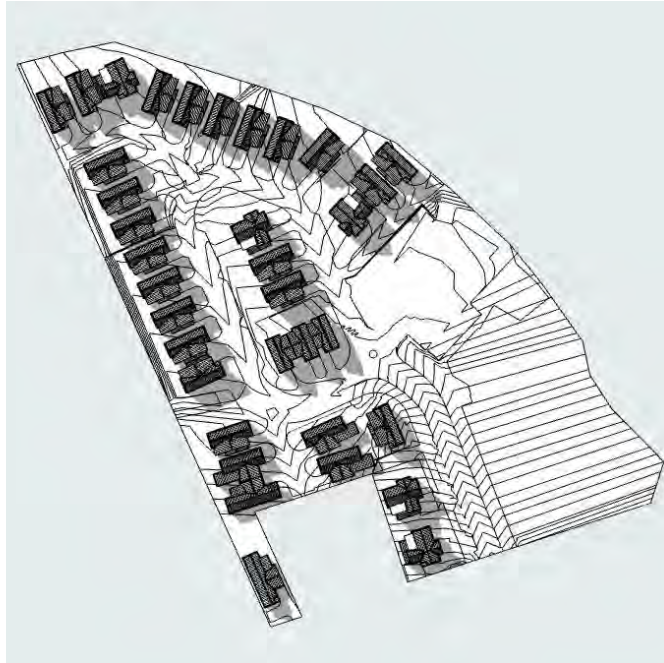
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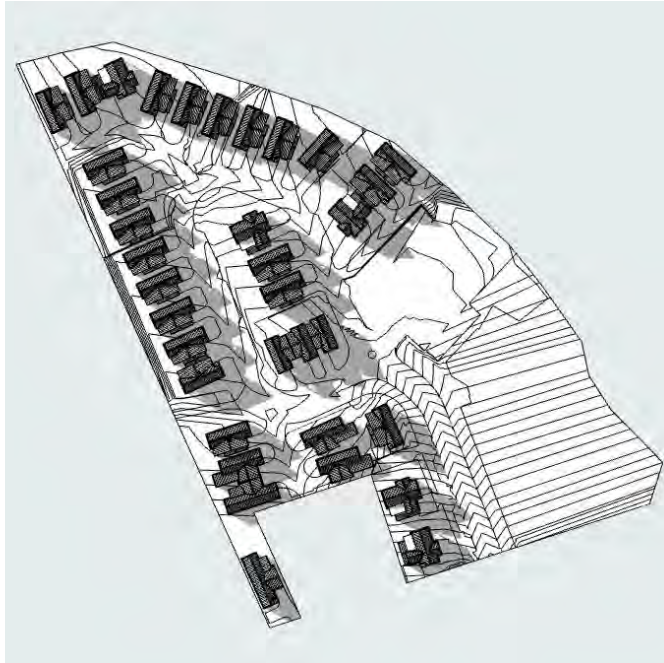
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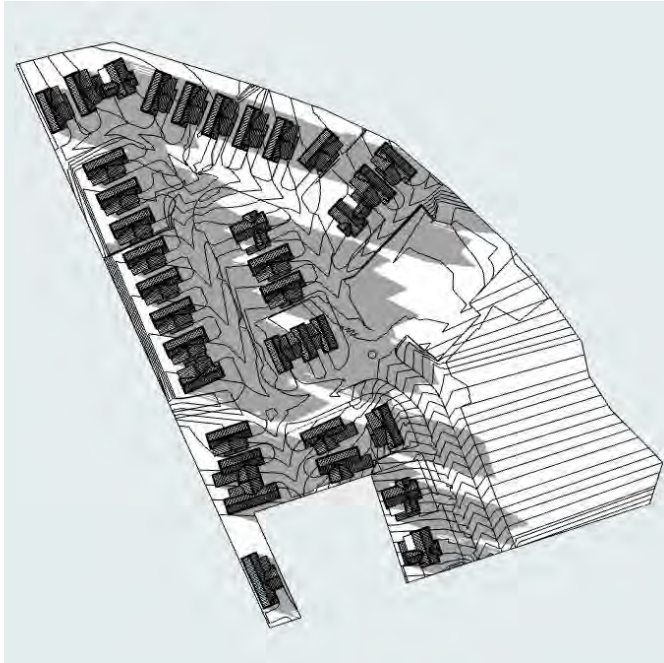
September 22nd, 2:00pm



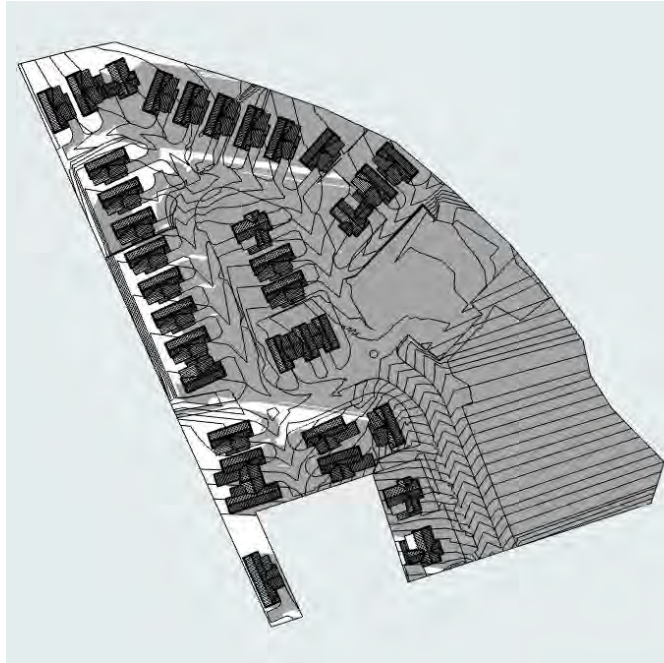
September 22nd, 3:00pm



September 22nd, 4:00pm



September 22nd, 5:00pm




September 22nd, 6:00pm

NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - SEPTEMBER



SCALE (A3)

N.T.S

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A122

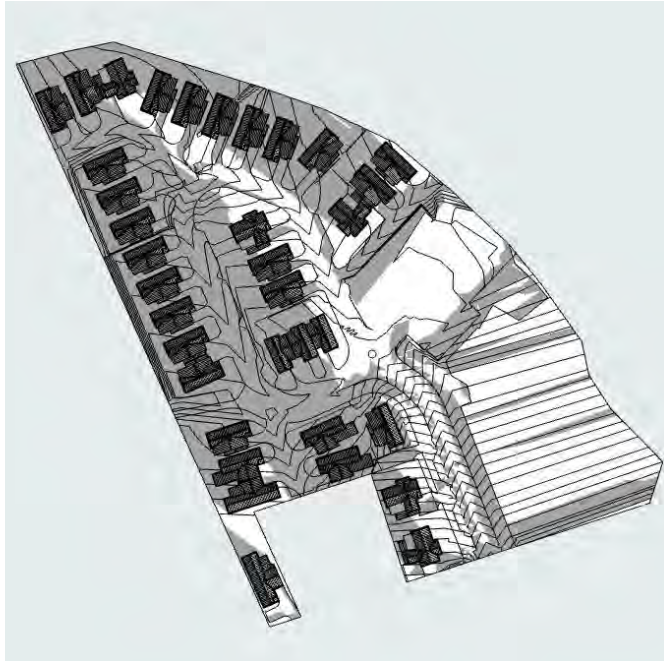
REVISION

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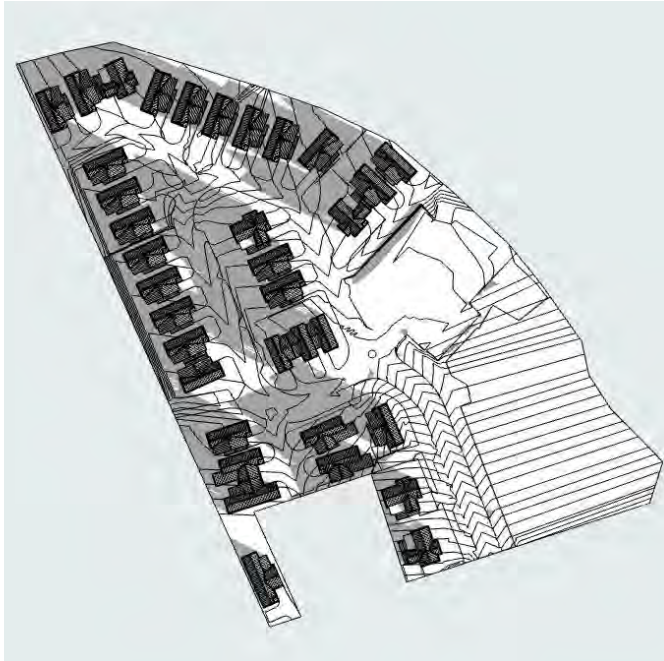
DATE

30/05/2023

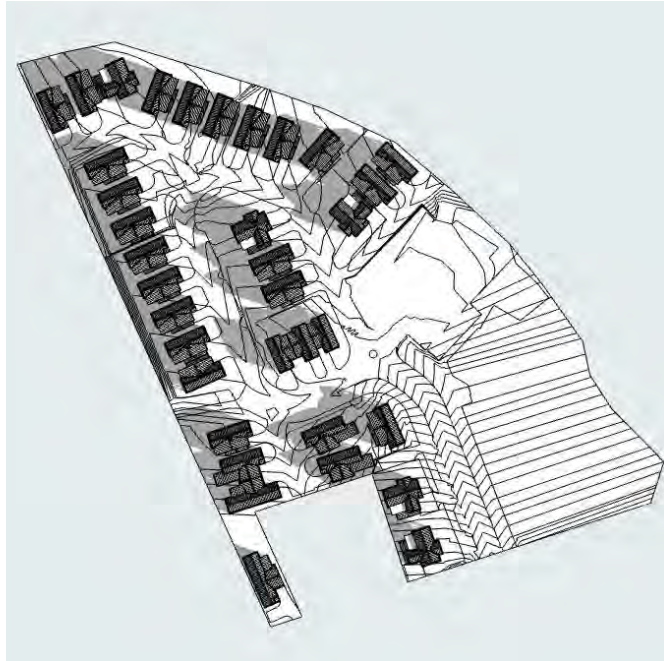
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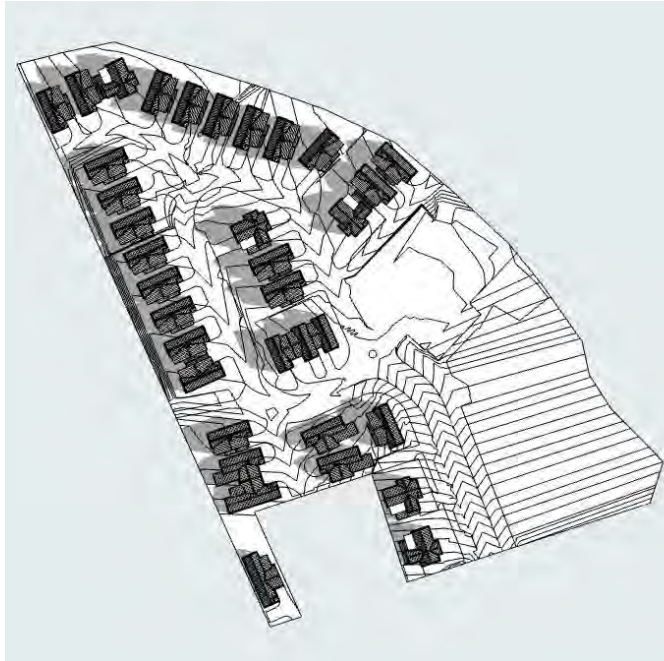
December 21st, 5:00am



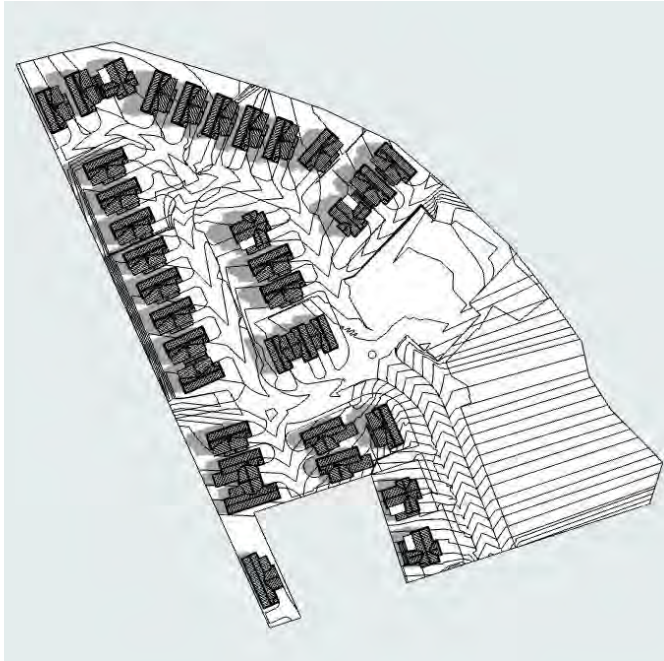
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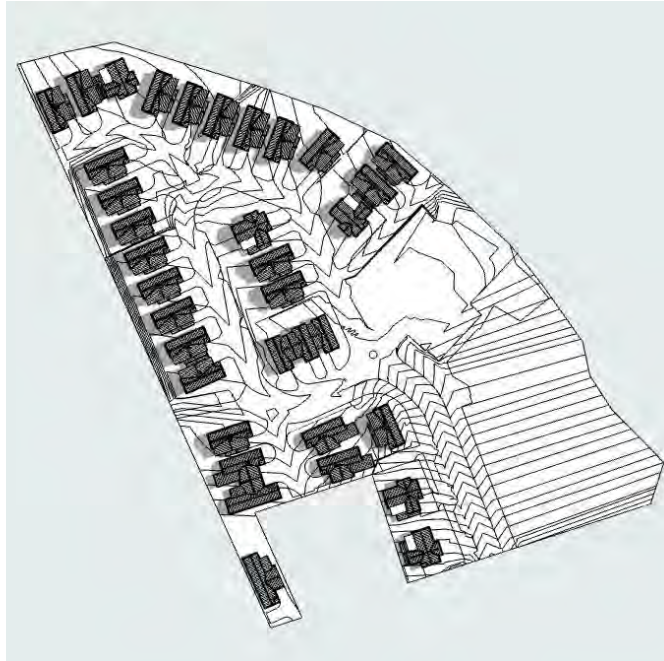
December 21st, 7:00am



December 21st, 8:00am



December 21st, 9:00am



December 21st, 10:00am

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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - DECEMBER

SCALE (A3)

N.T.S

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A123

REVISION

A

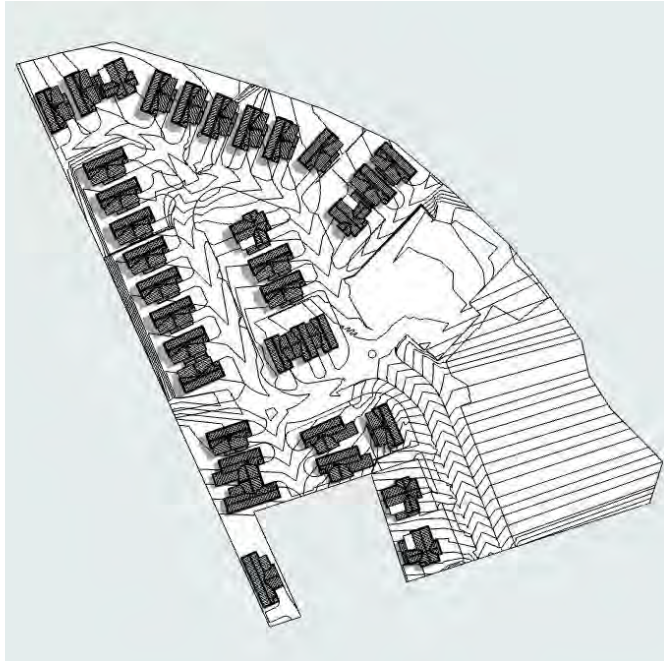
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30/05/2023

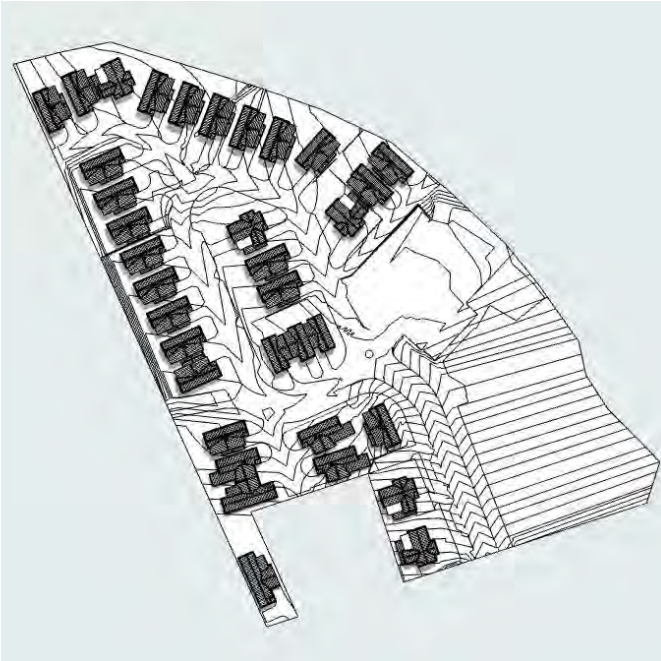
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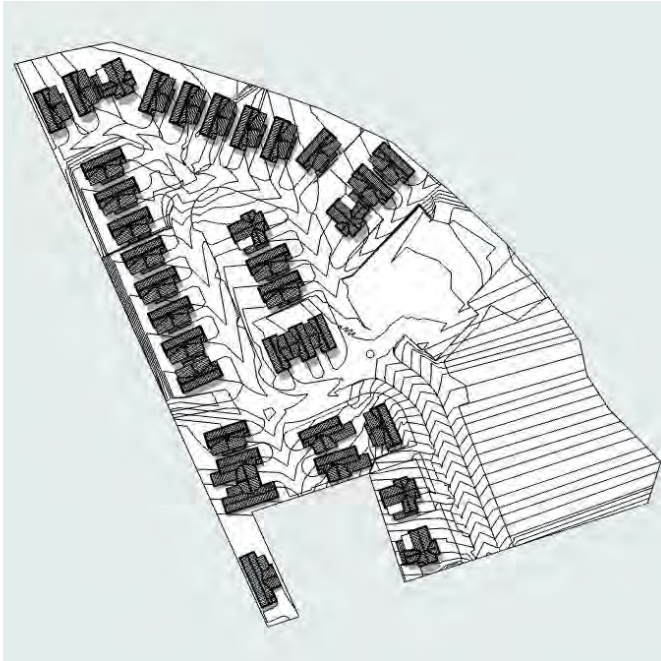
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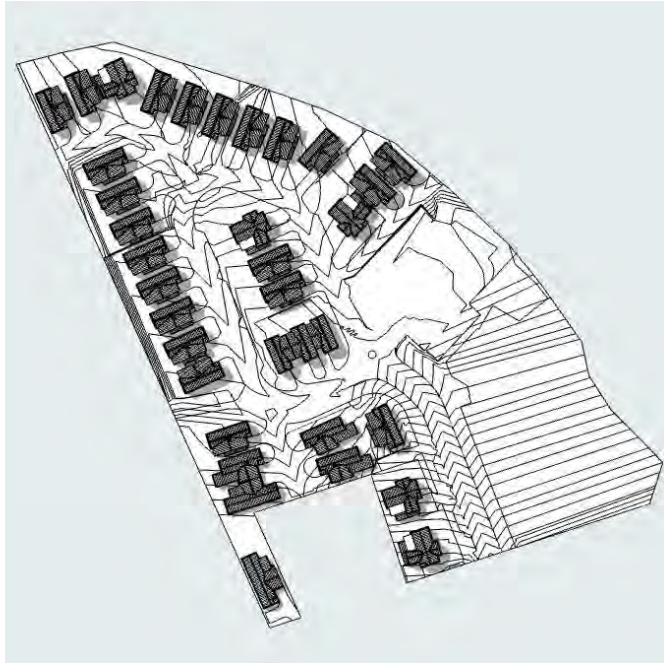
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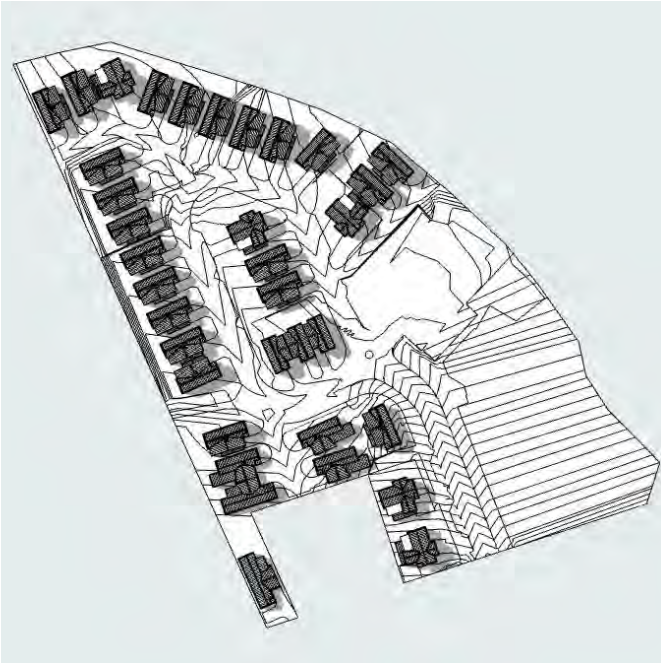
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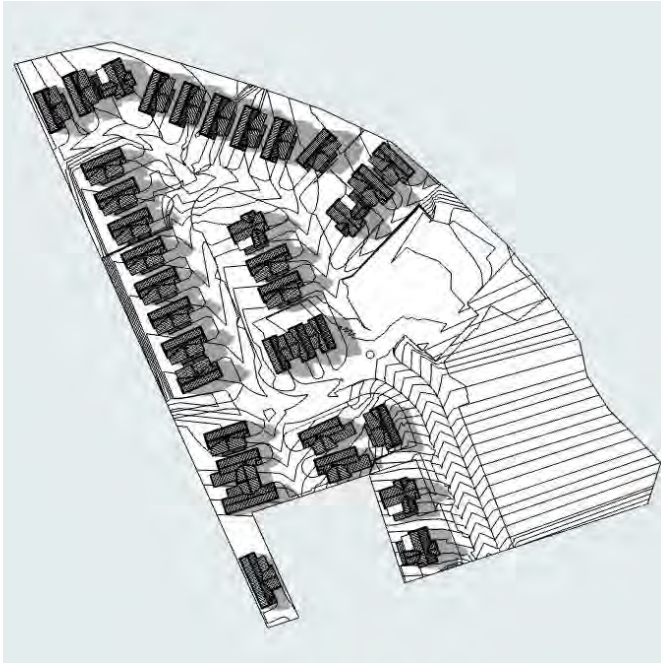
December 21st, 1:00pm



December 21st, 2:00pm



December 21st, 3:00pm



December 21st, 4:00pm

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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - DECEMBER



SCALE (A3)

N.T.S

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A124

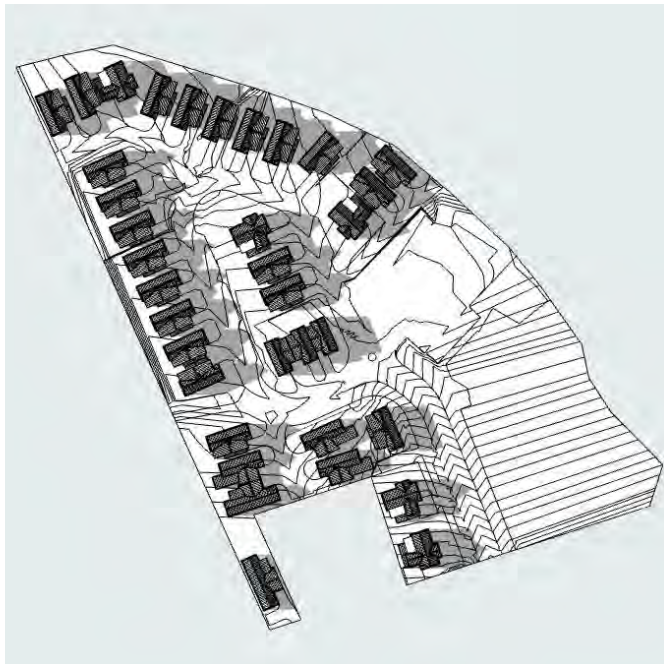
REVISION

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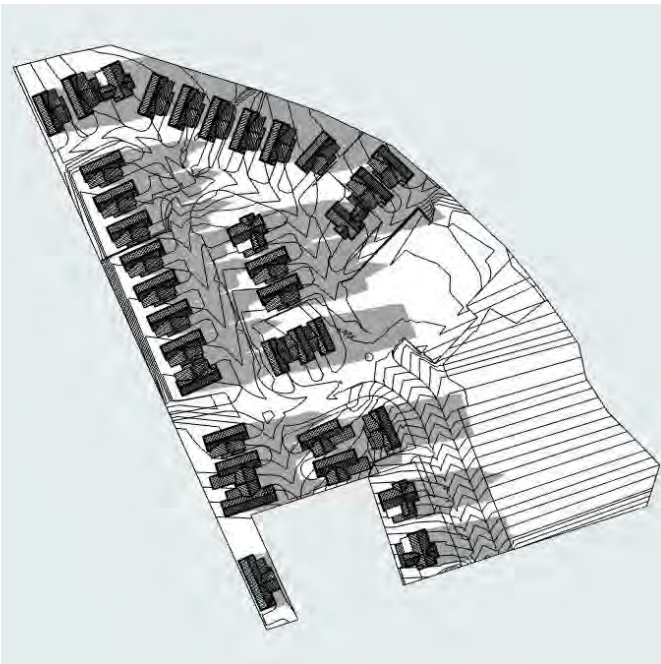
DATE

30/05/2023

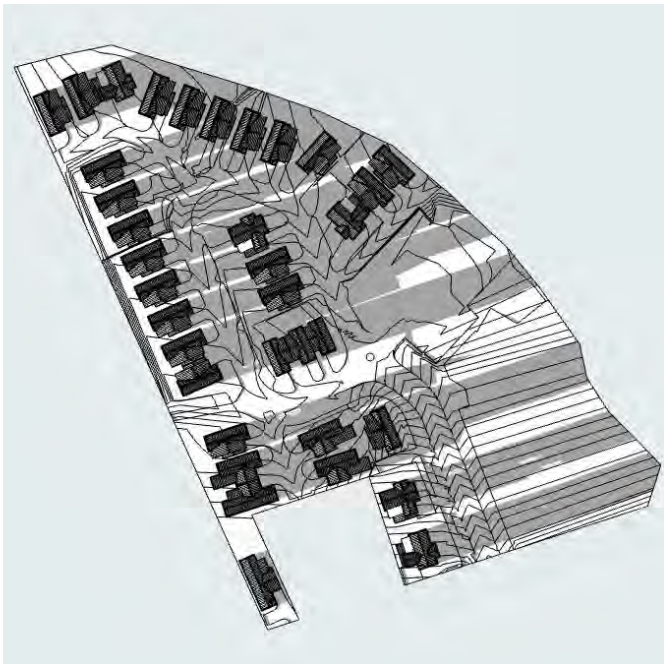
Saddleback



December 21st, 5:00pm



December 21st, 6:00pm



December 21st, 7:00pm

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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023

TITLE

SUN STUDY - DECEMBER

SCALE (A3)

N.T.S

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A125

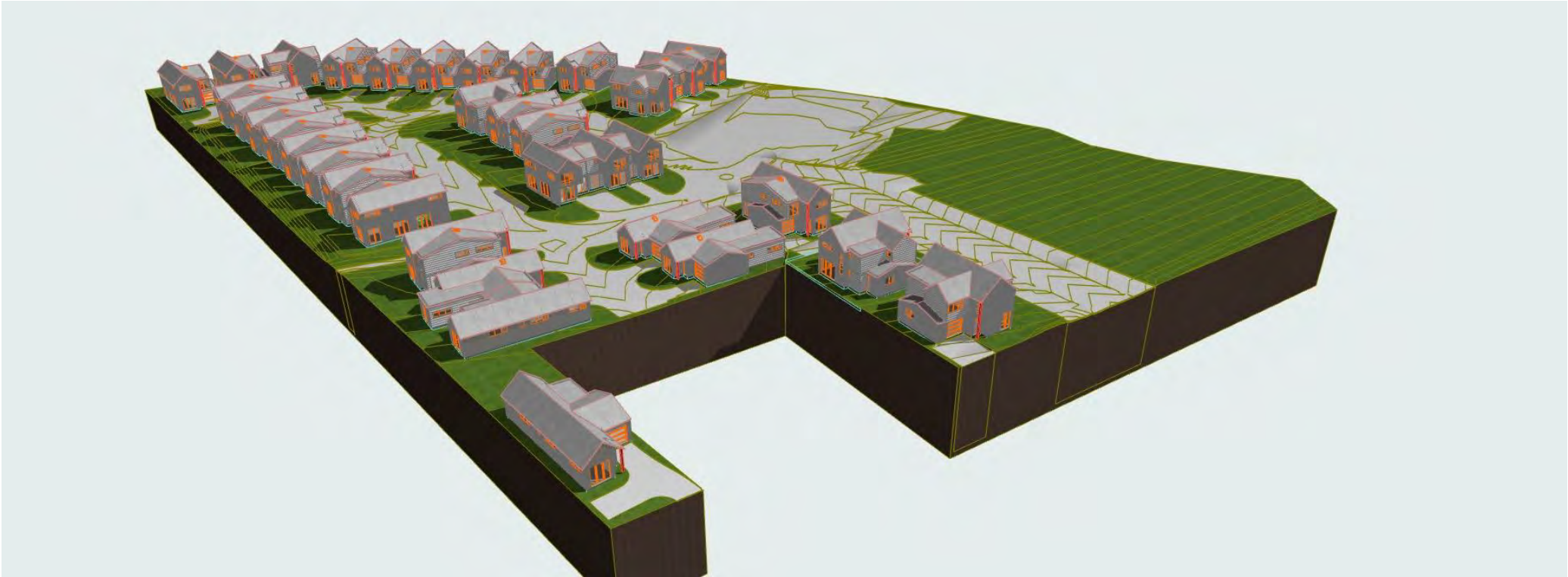
REVISION

A

DATE

30/05/2023

Saddleback



NOTE - THE AREAS AND DIMENSIONS SHOWN ARE INDICATIVE ONLY.
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REV	ISSUE	DATE
03	RESOURCE CONSENT	30-05-2023



TITLE

3D PERSPECTIVE



SCALE (A3)

N.T.S

NORTH

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A126

REVISION

A

DATE

30/05/2023

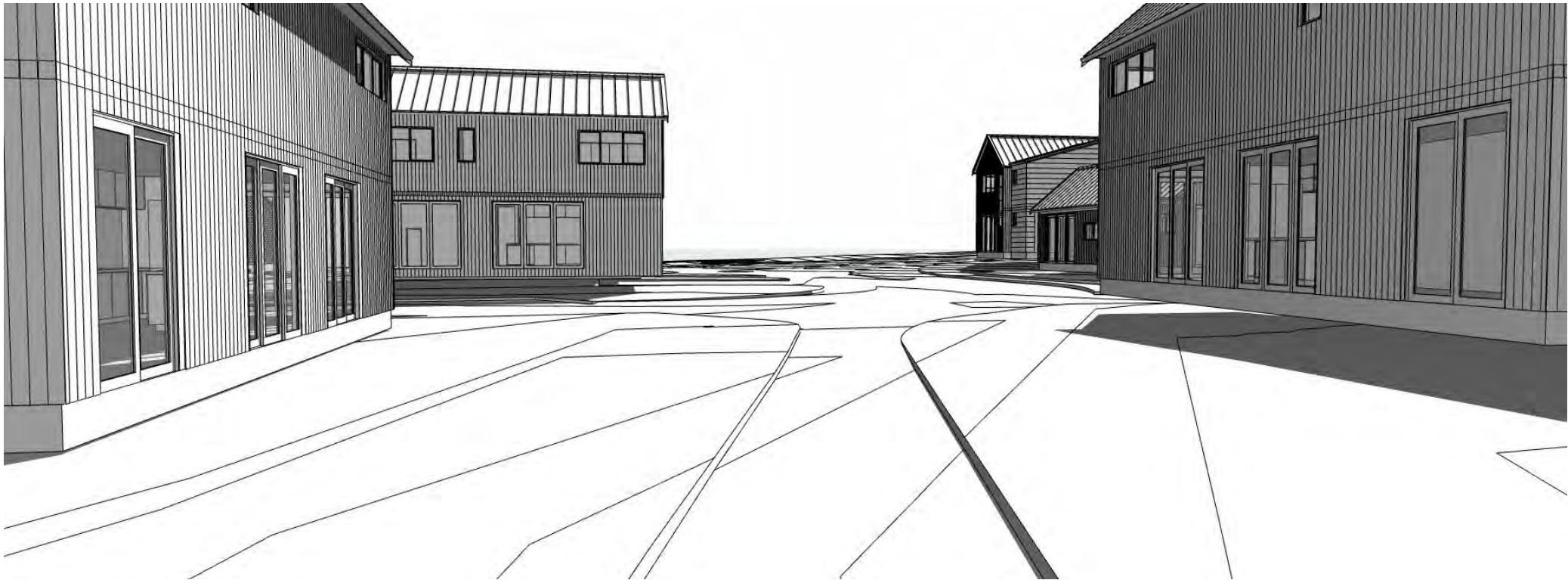
Saddleback



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REV	ISSUE	DATE
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- 1) Perspective from central roundabout - viewpoint North
- 2) Perspective from park to West - viewpoint into development



TITLE

3D PERSPECTIVE



SCALE (A3)

|

NORTH

○

PROJECT

BROOKVALE ROAD DEVELOPMENT

CLIENT

ODERINGS NURSERIES CHCH LTD

JOB NO

22-04005

STATUS

RESOURCE CONSENT

DRAWING NO

A127

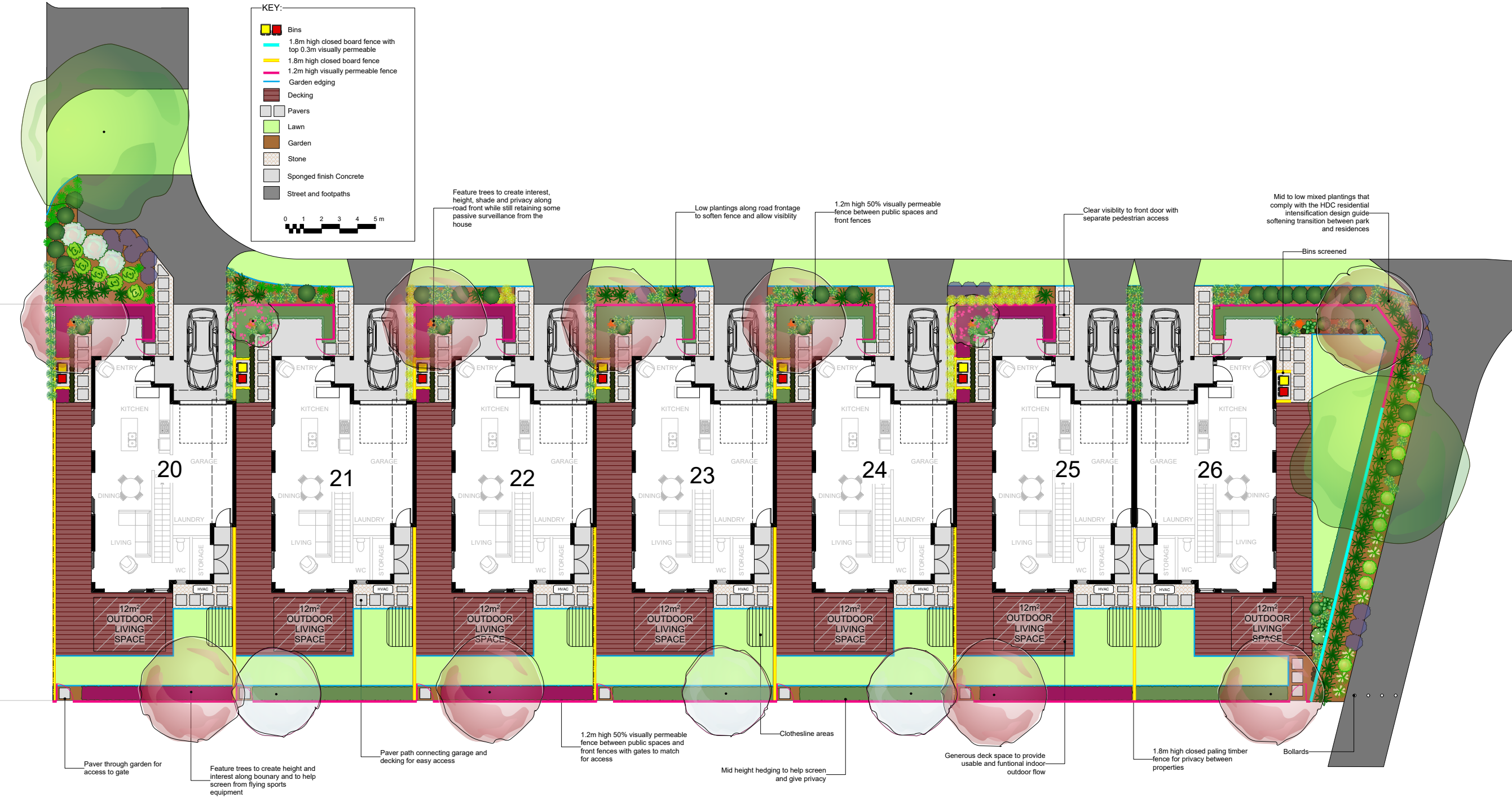
REVISION

A

DATE

30/05/2023

Saddleback



<div>DRAWING TITLE: LANDSCAPE CONCEPT PLAN- SECTION 1 WITH PARK BOUNDARY</div> <div>PROJECT TITLE: 55 & 57 BROOKVALE RD HAVELOCK NORTH</div>	<div>SCALE: 1:100 @ A1 1:200 @ A3</div> <div>DRAWN BY: NICKY ADAMS (BLA Hons)</div> <div>DATE: 30TH JANUARY 2023</div> <div></div>	<div>DRAWING NUMBER: LCP01</div> <div>REVISION: B</div> <div>REVISION NOTES: LCP01-A REVISED 29.5.23</div>	<div>NOTES: All symbols shown on the plan are diagrammatic and for reference only.</div> <div>Contractors to verify all dimensions on site prior to commencing work.</div> <div>Contractors are responsible for locating all underground services prior to commencing construction.</div>	<div> LANDSCAPING landscape.oderings.co.nz</div>	
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Attachment F

ITEM 2



Plant List - Section 1					
Image	ID	Qty	Botanical Name	Common Name	Remarks
	Alb RS	3	Albizia julibrissin 'Red Silk'	silk tree	Or any other feature tree
	Car FC	13	Carex 'Frosted Curls'	Frosted Curls	
	Cer FP	1	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	
	Chi fla	8	Chionochloa flavicans	Mini toe toe	
	Cli Red	6	Clivia Red	Clivia Red	
	Cop KV	3	Coprosma 'Kirkii variegata'	Coprosma 'Kirkii variegata'	
	Cor CC	2	Cornus 'Cherokee Chief'	Dogwood	
	Dap OA	6	Daphne odora Alba	Daphne odora white	
	Gar rad	2	Gardenia radicans	Gardenia radicans	
	Gri Gec	129	Griselinia Gecko	Griselinia Gecko	700mm spacings grown to 1.5m high
	Lib for	40	Libertia formosa	Libertia formosa	
	Lib gra	117	Libertia grandiflora	Libertia grandiflora	
	Lig ren	1	Ligularia reniformis	Tractors seats	
	Lor BH	78	Loropetalum 'Burgundy' hedge	Chinese fringe flower hedge	700mm spacings grown to 1.5m high
	Met tah	21	Metrosideros 'Tahiti'	Dwarf Pohutukawa	
	Pac ter	96	Pachysandra terminalis	Japanese Spurge	
	Pho EG	51	Phormium 'Emerald Gem'	Phormium 'Emerald Gem'	
	Pim pro	7	Pimelea prostrata	NZ Daphne	
	Pit hal	8	Pittosporum 'Halo'	Pittosporum 'Halo'	Dwarf Pittosporum ball
	Pru ser	8	Prunus serrulata 'Mt Fuji'	Cherry Mt Fuji	
	Que pal	2	Quercus palustris	Pin Oak	
	Ros sca	6	Rosa 'Flower Carpet' Scarlet	Rose 'Flower Carpet' Scarlet	
		0			



Mixture of natives and exotics to create interest and diversity while attracting birds, tying in with the surrounding landscaping and the Hastings District Council design guide 2020. Use of mid height hedges gives structure and privacy while allowing for passive surveillance onto street and park. If exact plants not available, plants with similar qualities-size,leaf shape, etc., to substitute.

DRAWING TITLE:
LANDSCAPE PLANT LIST- SECTION 1
WITH PARK BOUNDARY
PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: N/A
DRAWN BY: NICKY ADAMS (BLA Hons)
DATE: 30TH JANUARY 2023

DRAWING NUMBER: LPP01.1
REVISION: B
REVISION NOTES:
LPP01.1-A REVISED 29.5.23

NOTES:
All symbols shown on the plan are
diagrammatic and for reference only.

Plant size shown on the plan is the
mature or desired size of plant and not
the size supplied.

Contractors to verify all dimensions on
site prior to commencing work.

Contractors are responsible for
locating all underground services prior
to commencing construction.





Item 2

Attachment F

DRAWING TITLE:
LANDSCAPE CONCEPT PLAN-
SECTION 2

PROJECT TITLE:

55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023



DRAWING NUMBER: LCP02
REVISION: B

REVISION NOTES:
LCP01-A REVISED 29.5.23

NOTES:
All symbols shown on the plan are
diagrammatic and for reference only.

Contractors to verify all dimensions on
site prior to commencing work.

Contractors are responsible for
locating all underground services prior
to commencing construction.





Item 2

Attachment F

DRAWING TITLE:
LANDSCAPE PLANTING PLAN-
SECTION 2

PROJECT TITLE:

55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023



DRAWING NUMBER: LPP02
REVISION: B

REVISION NOTES:
LPP01-A REVISED 29.5.23

NOTES:
All symbols shown on the plan are
diagrammatic and for reference only.

Plant size shown on the plan is the
mature or desired size of plant and not
the size supplied.

Contractors to verify all dimensions on
site prior to commencing work.

Contractors are responsible for
locating all underground services prior
to commencing construction.





Plant List - Section 2					
Image	ID	Qty	Botanical Name	Common Name	Remarks
	Alb RS	4	Albizia julibrissin 'Red Silk'	silk tree	Or any other feature tree
	Car FC	28	Carex 'Frosted Curles'	Frosted Curles	
	Cer FP	4	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	
	Clv Red	4	Clivia Red	Clivia Red	
	Cop KV	1	Coprosma 'Kirkii variegata'	Coprosma 'Kirkii variegata'	
	Cor CC	2	Cornus 'Cherokee Chief'	Dogwood	
	Cor EWW	1	Cornus 'Eddies White Wonder'	Cornus 'Eddies White Wonder'	
	Dap OA	5	Daphne odora Alba	Daphne odora white	
	Dia Lit Rev	26	Dianella 'Little Rev'	Dianella 'Little Rev'	
	Gar rad	8	Gardenia radicans	Gardenia radicans	
	Gau BW	9	Gaura 'Butterfly White'	Beeblossom	
	Gri Gec	149	Griselinia Gecko	Griselinia Gecko	700mm spacings grown to 1.5m high
	Lib for	32	Libertia formosa	Libertia formosa	
	Lib gra	112	Libertia grandiflora	Libertia grandiflora	
	Lig ren	3	Ligularia reniformis	Tractors seats	
	Lor BH	96	Loropetalum 'Burgundy' hedge	Chinese fringe flower hedge	700mm spacings grown to 1.5m high
	Lor bur	1	Loropetalum Burgundy	Loropetalum Burgundy	
	Met tah	2	Metrosideros 'Tahiti'	Dwarf Pohutukawa	
	Pac ter	179	Pachysandra terminalis	Japanese Spurge	
	Pho EG	32	Phormium 'Emerald Gem'	Phormium 'Emerald Gem'	
	Pim pro	7	Pimelea prostrata	NZ Daphne	
	Pit hal	3	Pittosporum 'Halo'	Pittosporum 'Halo'	Dwarf Pittosporum ball
	Pra ang	14	Pratia angulata	Panakenake	
	Pru ser	7	Prunus serrulata 'Mt Fuji'	Cherry Mt Fuji	
	Ros pro	1	Rosmarinus prostratus	Rosemary prostrata	
	Ros sca	9	Rosa 'Flower Carpet' Scarlet	Rose 'Flower Carpet' Scarlet	
		0			

Mixture of natives and exotics to create interest and diversity while attracting birds, tying in with the surrounding landscaping and the Hastings District Council design guide 2020. Use of mid height hedges gives structure and privacy while allowing for passive surveillance onto street and park. If exact plants not available, plants with similar qualities-size,leaf shape, etc., to substitute.



★ Rain garden plantings

<div>DRAWING TITLE: LANDSCAPE PLANT LIST- SECTION 2</div> <div>PROJECT TITLE: 55 & 57 BROOKVALE RD HAVELOCK NORTH</div>	<div>SCALE: N/A</div> <div>DRAWN BY: NICKY ADAMS (BLA Hons)</div> <div>DATE: 30TH JANUARY 2023</div>	<div>DRAWING NUMBER: LPP02.1</div> <div>REVISION: B</div> <div>REVISION NOTES: LPP02.1-A REVISED 29.5.23</div>	<div>NOTES: All symbols shown on the plan are diagrammatic and for reference only.</div> <div>Plant size shown on the plan is the mature or desired size of plant and not the size supplied.</div> <div>Contractors to verify all dimensions on site prior to commencing work.</div> <div>Contractors are responsible for locating all underground services prior to commencing construction.</div>	<div></div> <div>landscape.oderings.co.nz</div>	
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DRAWING TITLE:
LANDSCAPE CONCEPT PLAN-
SECTION 3

PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023



DRAWING NUMBER: LCP03

REVISION: B

REVISION NOTES:
LCP03-A REVISED 29.5.23

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DRAWING TITLE:
LANDSCAPE PLANTING PLAN-
SECTION 3

PROJECT TITLE:

55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023



DRAWING NUMBER: LPP03
REVISION: B

REVISION NOTES:
LPP03-A REVISED 29.5.23

NOTES:
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Plant List - Section 3					
Image	ID	Qty	Botanical Name	Common Name	Remarks
	Alb RS	2	Albizia julibrissin 'Red Silk'	silk tree	Or any other feature tree
	Car FC	42	Carex 'Frosted Curls'	Frosted Curls	
	Cer FP	2	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	
	Chi fla	23	Chionochloa flavicans	Mini toe toe	
	Cho ter	8	Choisya ternata	Choisya ternata	
	Cli Red	3	Clivia Red	Clivia Red	
	Cop KV	7	Coprosma 'Kirkii variegata'	Coprosma 'Kirkii variegata'	
	Cor CC	2	Cornus 'Cherokee Chief'	Dogwood	
	Dap OA	4	Daphne odora Alba	Daphne odora white	
	Gau BW	16	Gaura 'Butterfly White'	Beeblossom	
	Gri Gec	139	Griselinia Gecko	Griselinia Gecko	700mm spacings grown to 1.5m high
	Lib for	21	Libertia formosa	Libertia formosa	
	Lib gra	74	Libertia grandiflora	Libertia grandiflora	
	Lig ren	1	Ligularia reniformis	Tractors seats	
	Lor BH	46	Loropetalum 'Burgundy' hedge	Chinese fringe flower hedge	700mm spacings grown to 1.5m high
	Met tah	6	Metrosideros 'Tahiti'	Dwarf Pohutukawa	
	Pac ins	2	Pachystegia insignis	Marlborough Rock Daisy	
	Pac ter	73	Pachysandra terminalis	Japanese Spurge	
	Pho EG	36	Phormium 'Emerald Gem'	Phormium 'Emerald Gem'	
	Pim pro	27	Pimelea prostrata	NZ Daphne	---
	Pit hal	30	Pittosporum 'Halo'	Pittosporum 'Halo'	Dwarf Pittosporum ball
	Pru ser	4	Prunus serrulata 'Mt Fuji'	Cherry Mt Fuji	
	Que pal	4	Quercus palustris	Pin Oak	
	Ros pro	1	Rosmarinus prostratus	Rosemary prostrata	
	Ros sca	18	Rosa 'Flower Carpet' Scarlet	Rose 'Flower Carpet' Scarlet	



Mixture of natives and exotics to create interest and diversity while attracting birds, tying in with the surrounding landscaping and the Hastings District Council design guide 2020. Use of mid height hedges gives structure and privacy while allowing for passive surveillance onto street and park. If exact plants not available, plants with similar qualities-size,leaf shape, etc., to substitute.



DRAWING TITLE:
LANDSCAPE CONCEPT PLAN-
SECTION 4

PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023



DRAWING NUMBER: LCP04
REVISION: B

REVISION NOTES:
LCP04-A REVISED 29.5.23

NOTES:
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diagrammatic and for reference only.

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to commencing construction.





DRAWING TITLE:
LANDSCAPE PLANTING PLAN-
SECTION 4

PROJECT TITLE:

55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023



DRAWING NUMBER: REVISION:

LPP04 B

REVISION NOTES:
LPP04-A REVISED 29.5.23

NOTES:
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Plant List - Section 4					
Image	ID	Qty	Botanical Name	Common Name	Remarks
	Alb RS	1	Albizia julibrissin 'Red Silk'	silk tree	Or any other feature tree
	Cer FP	2	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	
	Chi fla	24	Chionochloa flavicans	Mini toe toe	
	Cli Red	3	Clivia Red	Clivia Red	
	Cop KV	3	Coprosma 'Kirkii variegata'	Coprosma 'Kirkii variegata'	
	Cor CC	1	Cornus 'Cherokee Chief'	Dogwood	
	Cor EWW	3	Cornus 'Eddies White Wonder'	Cornus 'Eddies White Wonder'	
	Dap OA	2	Daphne odora Alba	Daphne odora white	
	Gau BW	9	Gaura 'Butterfly White'	Beeblossom	
	Gri Gec	75	Griselinia Gecko	Griselinia Gecko	700mm spacings grown to 1.5m high
	Lib for	60	Libertia formosa	Libertia formosa	
	Lib gra	46	Libertia grandiflora	Libertia grandiflora	
	Lig ren	1	Ligularia reniformis	Tractors seats	
	Lor BH	36	Loropetalum 'Burgundy' hedge	Chinese fringe flower hedge	700mm spacings grown to 1.5m high
	Met tah	6	Metrosideros 'Tahiti'	Dwarf Pohutukawa	
	Pac ins	6	Pachystegia insignis	Marlborough Rock Daisy	
	Pac ter	82	Pachysandra terminalis	Japanese Spurge	
	Pho EG	20	Phormium 'Emerald Gem'	Phormium 'Emerald Gem'	
	Pim pro	13	Pimelea prostrata	NZ Daphne	Could be replaced with Lithodora 'Grace Ward'
	Pit hal	13	Pittosporum 'Halo'	Pittosporum 'Halo'	Dwarf Pittosporum ball
	Pru ser	3	Prunus serrulata 'Mt Fuji'	Cherry Mt Fuji	
	Que pal	1	Quercus palustris	Pin Oak	
	Ros sca	5	Rosa 'Flower Carpet' Scarlet	Rose 'Flower Carpet' Scarlet	
		0			

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<div>DRAWING TITLE: LANDSCAPE PLANT LIST- SECTION 4</div> <div>PROJECT TITLE: 55 & 57 BROOKVALE RD HAVELOCK NORTH</div>	<div>SCALE: N/A</div> <div>DRAWN BY: NICKY ADAMS (BLA Hons)</div> <div>DATE: 30TH JANUARY 2023</div>	<div>DRAWING NUMBER: LPP04.1</div> <div>REVISION: B</div> <div>REVISION NOTES: LPP04.1-A REVISED 29.5.23</div>	<div>NOTES: All symbols shown on the plan are diagrammatic and for reference only.</div> <div>Plant size shown on the plan is the mature or desired size of plant and not the size supplied.</div> <div>Contractors to verify all dimensions on site prior to commencing work.</div> <div>Contractors are responsible for locating all underground services prior to commencing construction.</div>	<div> LANDSCAPING</div> <div>landscape.oderings.co.nz</div>	
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DRAWING TITLE:
LANDSCAPE CONCEPT PLAN-
SECTION 5
PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3
DRAWN BY: NICKY ADAMS (BLA Hons)
DATE: 30TH JANUARY 2023



DRAWING NUMBER: LCP05
REVISION: C

REVISION NOTES:
LCP05-A REVISED 23.2.23
LCP05-B REVISED 29.5.23

NOTES:
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diagrammatic and for reference only.
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to commencing construction.





DRAWING TITLE:
LANDSCAPE PLANTING PLAN-
SECTION 5
PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3
DRAWN BY: NICKY ADAMS (BLA Hons)
DATE: 30TH JANUARY 2023



DRAWING NUMBER: LPP05
REVISION: C

REVISION NOTES:
LPP05 A REVISED 23.2.23
LPP05-A REVISED 29.5.23

NOTES:
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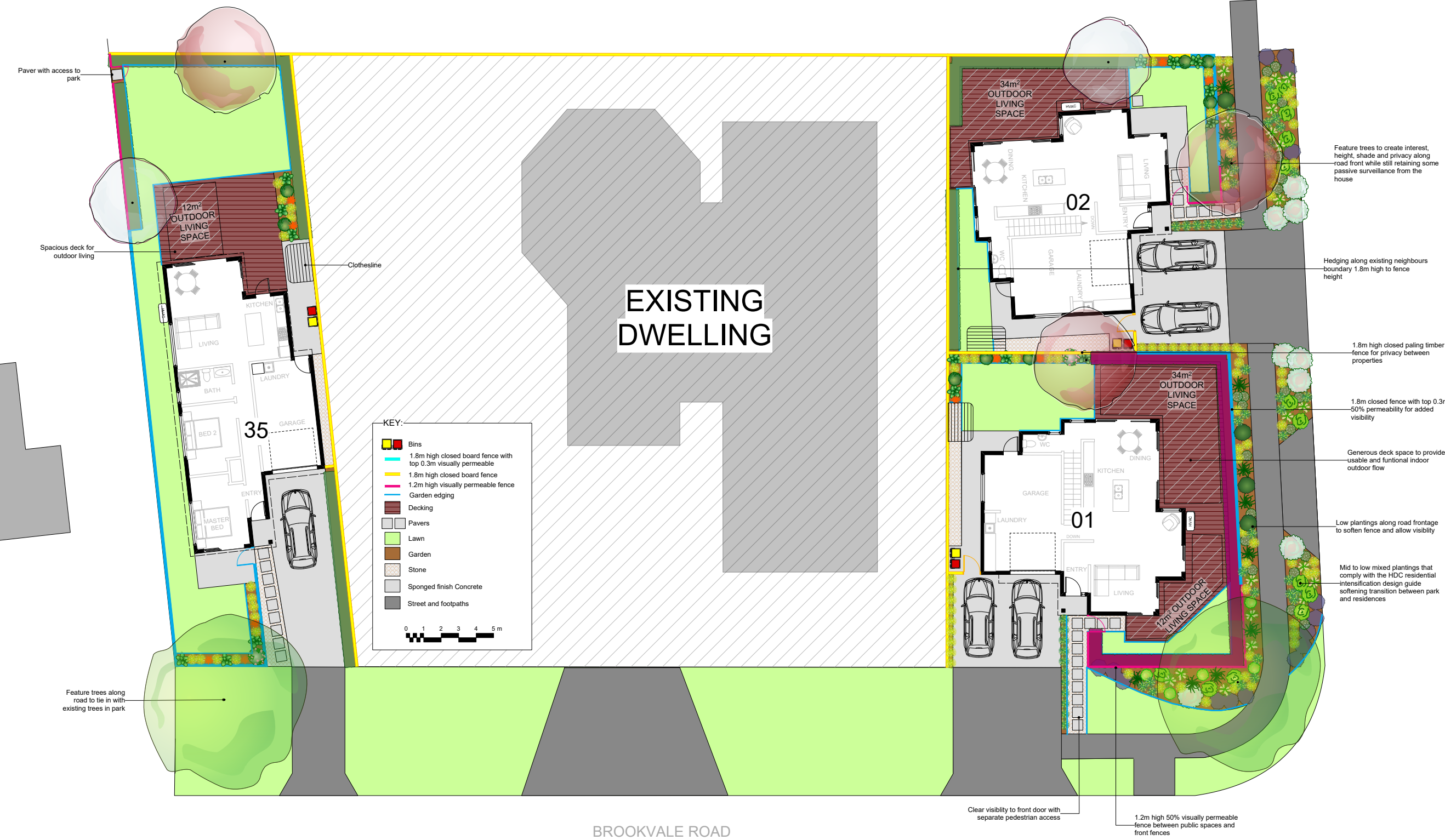




Plant List - Section 5					
Image	ID	Qty	Botanical Name	Common Name	Remarks
	Alb RS	3	Albizzia julibrissin 'Red Silk'	silk tree	Or any other feature tree
	Cer FP	3	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	
	Chi fla	38	Chionochloa flavicans	Mini toe toe	
	Cho ter	3	Choisya ternata	Choisya ternata	
	Cli Red	4	Clivia Red	Clivia Red	
	Cop KV	8	Coprosma 'Kirkii variegata'	Coprosma 'Kirkii variegata'	
	Dap odo	3	Daphne odora	Daphne odora	
	Gar rad	3	Gardenia radicans	Gardenia radicans	
	Gau BW	28	Gaura 'Butterfly White'	Beeblossom	
	Gri Gec	160	Griselinia Gecko	Griselinia Gecko	700mm spacings grown to 1.5m high
	Lib for	95	Libertia formosa	Libertia formosa	
	Lib gra	78	Libertia grandiflora	Libertia grandiflora	
	Lig ren	11	Ligularia reniformis	Tractors seats	
	Lor BH	34	Loropetalum 'Burgundy' hedge	Chinese fringe flower hedge	700mm spacings grown to 1.5m high
	Met tah	11	Metrosideros 'Tahiti'	Dwarf Pohutukawa	
	Pac ins	18	Pachystegia insignis	Marlborough Rock Daisy	
	Pac ter	33	Pachysandra terminalis	Japanese Spurge	
	Pho EG	32	Phormium 'Emerald Gem'	Phormium 'Emerald Gem'	
	Pim pro	17	Pimelea prostrata	NZ Daphne	Could be replaced with Lithodora 'Grace Ward'
	Pit hal	11	Pittosporum 'Halo'	Pittosporum 'Halo'	Dwarf Pittosporum ball
	Pru ser	5	Prunus serrulata 'Mt Fuji'	Cherry Mt Fuji	
	Que pal	1	Quercus palustris	Pin Oak	
	Ros sca	7	Rosa 'Flower Carpet' Scarlet	Rose 'Flower Carpet' Scarlet	

Mixture of natives and exotics to create interest and diversity while attracting birds, tying in with the surrounding landscaping and the Hastings District Council design guide 2020. Use of mid height hedges gives structure and privacy while allowing for passive surveillance onto street and park. If exact plants not available, plants with similar qualities-size,leaf shape, etc., to substitute.





Item 2

Attachment F

DRAWING TITLE:
LANDSCAPE CONCEPT PLAN-
SECTION 6
PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: 1:100 @ A1
1:200 @ A3
DRAWN BY: NICKY ADAMS (BLA Hons)
DATE: 30TH JANUARY 2023



DRAWING NUMBER: LCP06
REVISION: C

REVISION NOTES:
LCP06 A REVISED 23.2.23
LCP06-B REVISED 29.5.23

NOTES:
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Item 2

Attachment F

<div>DRAWING TITLE: LANDSCAPE PLANTING PLAN- SECTION 6</div> <div>PROJECT TITLE: 55 & 57 BROOKVALE RD HAVELOCK NORTH</div>	<div>SCALE: 1:100 @ A1 1:200 @ A3</div> <div>DRAWN BY: NICKY ADAMS (BLA Hons)</div> <div>DATE: 30TH JANUARY 2023</div> <div></div>	<div>DRAWING NUMBER: LPP06</div> <div>REVISION: C</div> <div>REVISION NOTES: LPP06 A REVISED 23.2.23 LPP06-B REVISED 29.5.23</div>	<div>NOTES: All symbols shown on the plan are diagrammatic and for reference only.</div> <div>Plant size shown on the plan is the mature or desired size of plant and not the size supplied.</div> <div>Contractors to verify all dimensions on site prior to commencing work.</div> <div>Contractors are responsible for locating all underground services prior to commencing construction.</div>	<div>ODERINGS LANDSCAPING</div> <div>landscape.oderings.co.nz</div>	
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Plant List - Section 6					
Image	ID	Qty	Botanical Name	Common Name	Remarks
	Alb RS	1	Albizia julibrissin 'Red Silk'	silk tree	Or any other feature tree
	Chi fla	20	Chionochloa flavicans	Mini toe toe	
	Cil Red	8	Clivia Red	Clivia Red	
	Cop KV	8	Coprosma 'Kirkii variegata'	Coprosma 'Kirkii variegata'	
	Dap odo	2	Daphne odora	Daphne odora	
	Gar rad	6	Gardenia radicans	Gardenia radicans	
	Gau BW	20	Gaura 'Butterfly White'	Beeblossom	
	Gri Gec	41	Griselinia Gecko	Griselinia Gecko	700mm spacings grown to 1.5m high
	Lib for	82	Libertia formosa	Libertia formosa	
	Lib gra	49	Libertia grandiflora	Libertia grandiflora	
	Lig ren	12	Ligularia reniformis	Tractors seats	
	Lor BH	50	Loropetalum 'Burgundy' hedge	Chinese fringe flower hedge	700mm spacings grown to 1.5m high
	Met tah	4	Metrosideros 'Tahiti'	Dwarf Pohutukawa	
	Pho EG	11	Phormium 'Emerald Gem'	Phormium 'Emerald Gem'	
	Pim pro	16	Pimelea prostrata	NZ Daphne	Could be replaced with Lithodora 'Grace Ward'
	Pit hal	5	Pittosporum 'Halo'	Pittosporum 'Halo'	Dwarf Pittosporum ball
	Pru ser	2	Prunus serrulata 'Mt Fuji'	Cherry Mt Fuji	
	Que pal	2	Quercus palustris	Pin Oak	
	Ros sca	13	Rosa 'Flower Carpet Scarlet'	Rose 'Flower Carpet' Scarlet	
		0			



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DRAWING TITLE:
LANDSCAPE PLANT LIST- SECTION 6

PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: N/A

DRAWN BY: NICKY ADAMS (BLA Hons)

DATE: 30TH JANUARY 2023

DRAWING NUMBER: LPP06.1

REVISION: C

REVISION NOTES:
LPP06.1 A REVISED 23.2.23
LCP06.1-B REVISED 29.5.23

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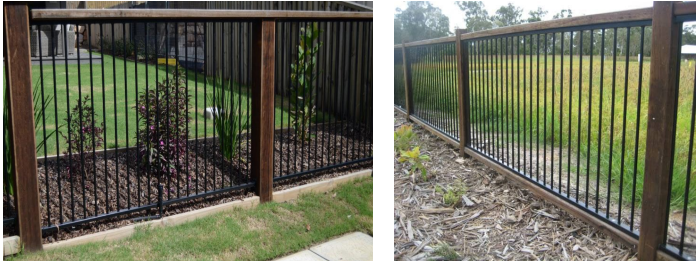




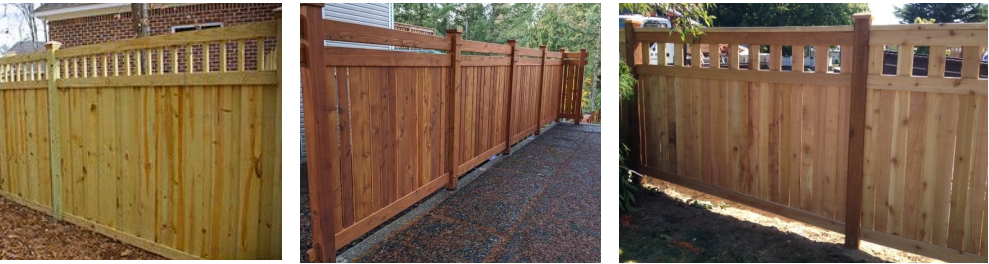
<div>DRAWING TITLE: LANDSCAPE MASTER PLAN</div> <div>PROJECT TITLE: 55 & 57 BROOKVALE RD HAVELOCK NORTH</div>	<div>SCALE: 1:400 @ A1 1:800 @ A3</div> <div>DRAWN BY: NICKY ADAMS (BLA Hons)</div> <div>DATE: 30TH JANUARY 2023</div>	<div>DRAWING NUMBER: LMP01</div> <div>REVISION: D</div> <div>REVISION NOTES: LMP01 A REVISED 23.2.23 LMP01 B REVISED 11.5.23 LMP01 C REVISED 29.5.23</div>	<div>NOTES: All symbols shown on the plan are diagrammatic and for reference only.</div> <div>Plant size shown on the plan is the mature or desired size of plant and not the size supplied.</div> <div>Contractors to verify all dimensions on site prior to commencing work.</div> <div>Contractors are responsible for locating all underground services prior to commencing construction.</div>	<div> ODERINGS LANDSCAPING</div> <div>landscape.oderings.co.nz</div>	
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Boundary fencing 1.8m high closed fencing with butted board or hit and miss, to create privacy between properties with cap and posts exposed on both sides, kickboards optional. Gates to match



1.2m high permeable fencing with Aluminium pool style panels between 100x100mm posts with timber cap and base board to frame and tie in with boundary fencing and look appealing while plants are growing. Gates to match



Boundary fencing 1.8m high top 300mm visually permeable- with butted board or hit and miss closed fencing to create privacy between properties and main public spaces with cap and posts exposed on both sides, kickboards optional but match close boundary fencing. Permeable section with every second board missing or chunky horizontal rungs if main boundary fencing has kick and top board. Gates to match



DRAWING TITLE:
LANDSCAPE LOCATION PLANS

PROJECT TITLE:
55 & 57 BROOKVALE RD
HAVELOCK NORTH

SCALE: N/A

DRAWN BY: NICKY ADAMS (BLA Hons)
DATE: 30TH JANUARY 2023

DRAWING NUMBER: LL01
REVISION: B

REVISION NOTES:
LL01 A REVISED 11.5.23

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